



ADDENDUM NUMBER ONE

May 22, 2025

Unit Renovations at Fischer III Housing Community 1638 Hero Re-Bid

IFB No. 25-911-19

THIS ADDENDUM IS BEING ISSUED TO INCORPORATE THE FOLLOWING IN THE REFERENCED INVITATION FOR BIDS.

The drawings were not attached to the original IFB. See drawings below.

Proposals must be received by the Housing Authority of New Orleans (HANO) in the Office of Procurement and Contracts by 2:00pm, local time on June 23, 2025. All terms and conditions shall remain as stated in the original Request for Proposals. All addenda must be acknowledged.

END OF ADDENDUM NUMBER ONE

REPAIRS TO 1638 HERO STREET NEW ORLEANS, LA 70114 FISHER HOUSING COMMUNITY



SHEET INDEX	
1	COVER SHEET
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8	SCHEDULE OF REQUIRED REPAIRS (KEY NOTS B THROUGH Q)
9	PHOTOGRAPHS
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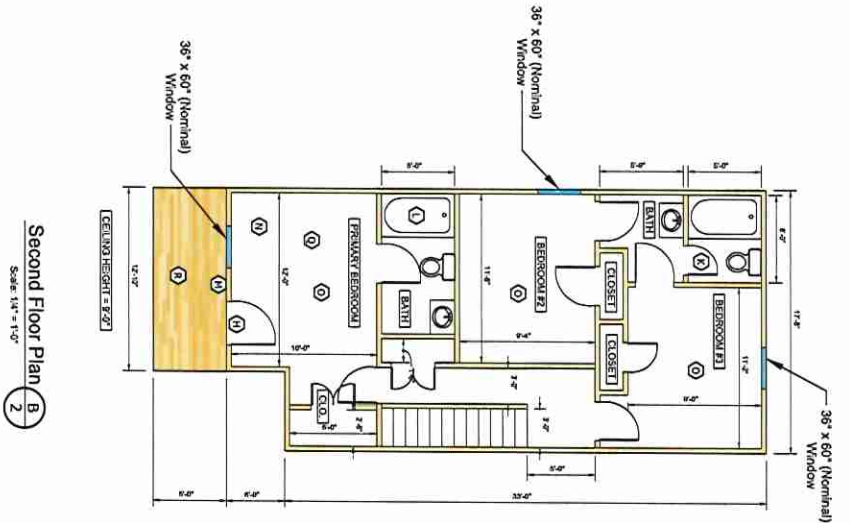
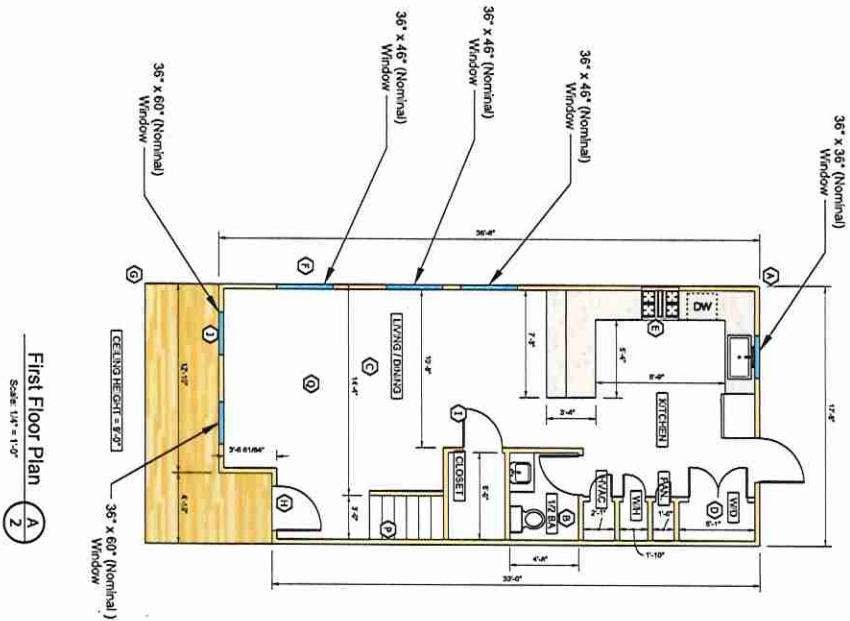
HOUSING AUTHORITY OF NEW ORLEANS
4100 Touro Street
New Orleans, LA 70122



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KEY NOTES (SEE SHEET 8):

1. REPAIR STRUCTURE (INTERIOR & EXTERIOR) PER SHEETS 3, 4 & 5
2. REMOVE 1/2 BATH
3. REPLACE ALL LIGHTING FIXTURES THROUGHOUT UNIT (1ST & 2ND FLOORS)
4. REPLACE WASHER & DRYER UNITS
5. REPLACE RANGE UNIT
6. REPLACE ALL WINDOW BLINDS THROUGHOUT UNIT (1ST & 2ND FLOORS)
7. REPAIR EXTERIOR TRIM THROUGHOUT UNIT (SEE PHOTOGRAPHS SHEET 9 & 10)
8. REPAIR DOOR JAMB
9. REPAIR / REPLACE INTERIOR DOOR PULLS AND KNOBS AS NECESSARY
10. REPLACE WINDOW
11. REMOVE BATHROOM
12. REMOVE FLASHING BETWEEN BALCONY DECK & EXTERIOR WALL OF UNIT
13. REPLACE FLOORING WHERE DAMAGED
14. REPLACE CEILING FANS IN ALL BEDROOMS
15. REPAIR WINDOW IN STAIRWELL
16. PAINT ALL INTERIOR WALLS, CEILING, AND TRIM
17. REPLACE ALL BALCONY FLOOR BOARDS & PAINT
18. REPAIR CEILING DRYWALL (SEE PHOTOGRAPHS SHEET 9 & 10)

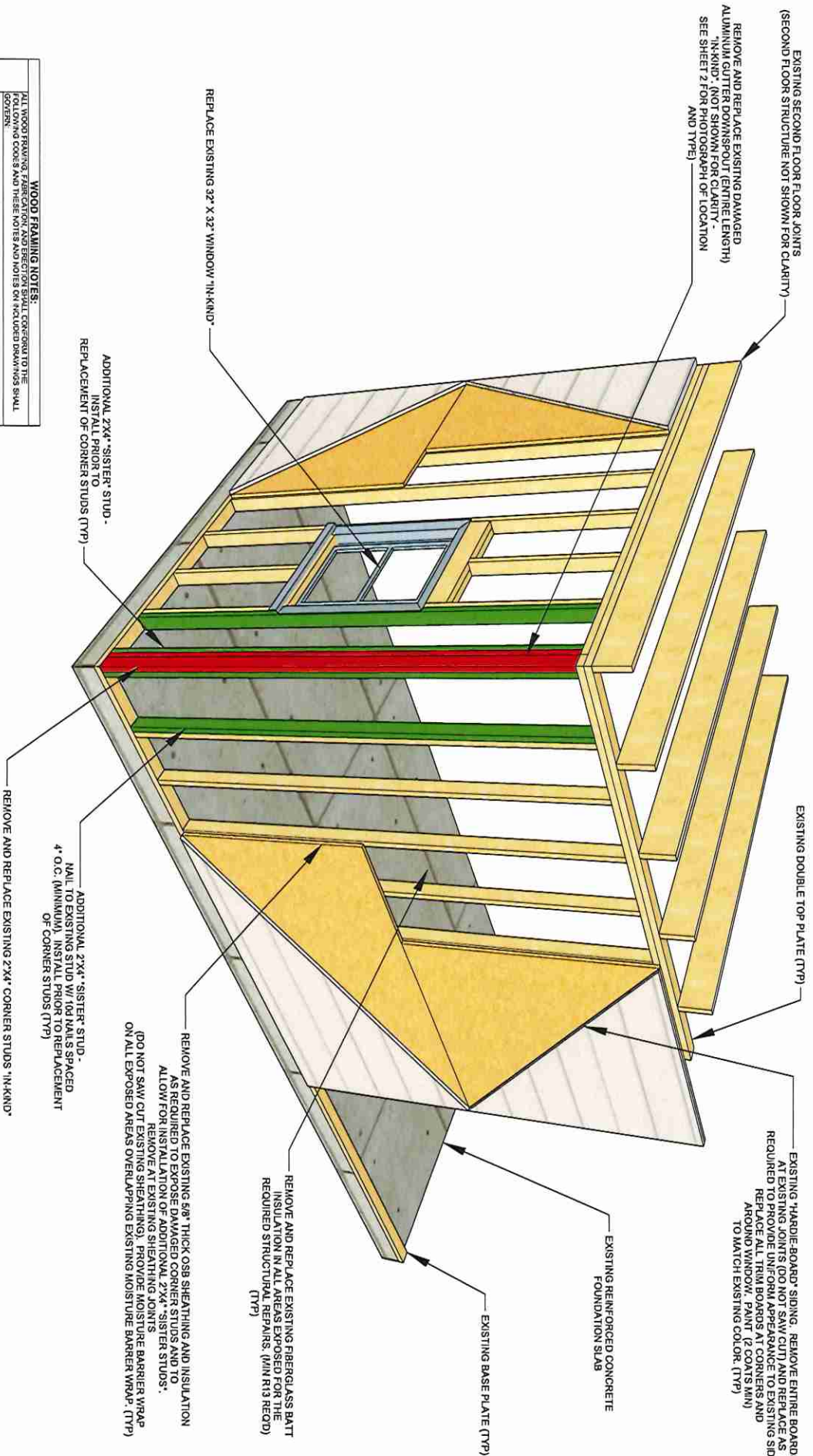


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WOOD FRAMING NOTES:	
1	ALL WOOD FRAMING FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND THESE NOTES OR INCLUDED DRAWINGS SHALL GOVERN.
2	ALL WOOD DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NFA.
3	ALL PRESURE TREATED WOOD REQUIREMENTS OF THE AWPA.
4	ALL WOOD CONNECTIONS SHALL BE QUALIFIED MATERIAL AND IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE GOVERNMENT BUILDING CODE.
5	ALL WORK AND MATERIALS SHALL CONFORM TO LOCAL, STATE, AND FEDERAL CODES, REGULATIONS, ORDINANCES, AND THESE NOTES AND NOTES ON INCLUDED DRAWINGS SHALL GOVERN.

ISOMETRIC OF STRUCTURAL & EXTERIOR REPAIRS (KEY NOTE A)

SCALE: NTS



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NORTHWEST CORNER DAMAGE



DETAIL OF NORTHWEST CORNER DAMAGE



DETAIL OF NORTHWEST CORNER DAMAGE

**PHOTOGRAPHS OF STRUCTURAL & EXTERIOR DAMAGE
(KEY NOTE A)**

SCALE: NTS



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NORTHWEST CORNER DAMAGE



DETAIL OF NORTHWEST CORNER DAMAGE



DETAIL OF NORTHWEST CORNER DAMAGE



OVERALL VIEW OF NORTHWEST CORNER DAMAGE

PHOTOGRAPHS OF INTERIOR DAMAGE (KEY NOTE A)

SCALE: NTS



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SCHEDULE OF INTERIOR REPAIRS (KEY NOTE A ONLY)

ITEM NO. (AS NOTED ON SHEET 5)	DESCRIPTION	QUANTITY*	SPECIFICATIONS	NOTES
1	DEMOLISH ALL EXISTING UPPER CABINETS AND REPLACE "IN-KIND"	12 LINEAR FEET	AMI "Custom Grade"	INSTALL PER INDUSTRY STANDARDS AND MANUFACTURERS WRITTEN INSTRUCTIONS
2	REMOVE & REPLACE DAMAGED DRYWALL IN AREA SURROUNDING NORTHWEST CORNER AS REQUIRED AND REPLACE EXISTING ELECTRICAL OUTLET(S)	200 SF DRYWALL, 1 ELECTRICAL OUTLET	See Technical Specification 09250	INSTALL PER INDUSTRY STANDARDS FOR WORKMANSHIP. SURFACES SHALL BE TAPERED AND SMOOTH.
3	DEMOLISH ALL EXISTING LOWER CABINET UNITS AND REPLACE "IN-KIND"	26 LINEAR FEET	AMI "Custom Grade"	INSTALL PER INDUSTRY STANDARDS AND MANUFACTURERS WRITTEN INSTRUCTIONS
4	DEMOLISH ALL EXISTING COUNTERTOPS AND REPLACE W/ 2 CM GRANITE	21 LINEAR FEET	Fornica (Existing); Granite (New)	INSTALL PER INDUSTRY STANDARDS AND MANUFACTURERS WRITTEN INSTRUCTIONS
5	REMOVE AND RESET EXISTING DISHWASHER (INCLUDING ALL REQUIRED PLUMBING & ELECTRICAL HOOKUPS)	1 EACH	n/a	AT ITS DISCRETION, HAND MAY ELECT TO REPLACE THESE APPLANCES WITH OWNER SUPPLIED REPLACEMENTS
6	REMOVE AND RESET EXISTING SINK (INCLUDING ALL REQUIRED PLUMBING, DISPOSAL, AND ELECTRICAL HOOKUPS)	1 EACH	n/a	AT ITS DISCRETION, HAND MAY ELECT TO REPLACE THESE APPLANCES WITH OWNER SUPPLIED REPLACEMENTS
7	REPLACE EXISTING RANGE (INCLUDING ALL REQUIRED ELECTRICAL HOOKUPS)	1 EACH	n/a	SEE ITEM E ON SHEET 8
8	DEMOLISH ALL EXISTING KITCHEN FLOORING & REPLACE "IN-KIND"	144 SQUARE FEET	12" square vinyl tiles	INSTALL PER INDUSTRY STANDARDS FOR WORKMANSHIP AND MANUFACTURERS WRITTEN INSTRUCTIONS. EXISTING FLOORING SHALL BE SMOOTH WITH ALL REQUIRED TRANSITION PIECES PROVIDED.
9	REPAINT ALL INTERIOR WALLS, TRIM, AND SURFACES TO MATCH EXISTING	200 SQUARE FEET	See Technical Specification 09500	INSTALL PER INDUSTRY STANDARDS FOR WORKMANSHIP. BRUSH STROKES AND ANY IMPERFECTIONS SHALL BE CORRECTED UPON DISCOVERY.

* ALL QUANTITIES ARE ESTIMATED AND PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION

INTERIOR REPAIR NOTES:

1	ALL PLUMBING SHALL BE PERFORMED BY A LOUISIANA LICENSED MASTER PLUMBER.
2	ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LOUISIANA LICENSED ELECTRICIAN.
3	ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER COMPLYING WITH ALL ESTABLISHED POSITIVE STANDARDS FOR CONSTRUCTION.
4	PROTECTIVE MEASURES SHALL BE TAKEN TO PROTECT THE INTERIOR AND EXTERIOR PORTIONS OF THE STRUCTURE WHICH ARE NOT INCLUDED WITHIN THE SCOPE OF WORK. REPAIRS TO THE STRUCTURE SHALL BE INCLUDED WITHIN THE SCOPE OF WORK. REPAIRS TO THE STRUCTURE SHALL BE INCLUDED WITHIN THE SCOPE OF WORK.

GENERAL NOTES:

1	CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY FACILITIES FOR WORKERS.
2	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DUMPSTER AND DISPOSAL FEES FOR ALL DEMOLISHED MATERIALS.
3	WORK SITE SHALL BE LEFT IN A CLEAN AND ORDERLY MANNER AT ALL TIMES. ALL TOOLS AND EQUIPMENT SHALL BE SECURED DAILY. OWNER WILL NOT BE RESPONSIBLE FOR THEFT OR DAMAGE TO CONSTRUCTION SUPPLIES AND/OR EQUIPMENT.



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SCHEDULE OF EXTERIOR REPAIRS (KEY NOTE A ONLY)

ITEM NO.	DESCRIPTION	QUANTITY*	SPECIFICATIONS	NOTES
S1	Selective Demolition of Damaged Area (10' x 16' x 2 sides)	320 SQUARE FEET	SEE TECHNICAL SPECIFICATION 02220	SEE NOTES ON SHEET 3
S2	Installation of "sister" studs to brace corner	4 EACH	SEE TECHNICAL SPECIFICATION 06100	SEE NOTES ON SHEET 3
S3	Remove and Replace Existing 2"x4" Corner Stud	2 EACH	SEE TECHNICAL SPECIFICATION 06100	SEE NOTES ON SHEET 3
S4	Replace 32' x 32' window "nosing"	1 EACH	SEE NOTES ON SHEET 3	SEE NOTES ON SHEET 3
S5	Replacement of Exterior Sheathing (10 sheets 4'x8'x1/2")	320 SQUARE FEET	SEE TECHNICAL SPECIFICATION 06100	SEE NOTES ON SHEET 3
S6	Replacement of Insulation & Moisture Barrier	320 SQUARE FEET	SEE NOTES ON SHEET 3	SEE NOTES ON SHEET 3
S7	Replacement of "Hard-Board" Siding including all required exterior trim around window and corner	320 SQUARE FEET	BASIS OF DESIGN IS JAMES HARDE PLANK WEATHERBOARD	SEE NOTES ON SHEET 3
S8	Remove and replace Existing Damaged Aluminum Gutter & Downspout "nosing"	12 LINEAR FEET	SEE NOTES ON SHEET 3	SEE NOTES ON SHEET 3
S9	Exterior Paint (to match existing)	320 SQUARE FEET	SEE TECHNICAL SPECIFICATION 09911	SEE NOTES ON SHEET 3

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SCHEDULE OF REPAIRS (KEY NOTES B THRU Q)

KEY NOTE	DESCRIPTION	QUANTITY*	SPECIFICATIONS	NOTES
B	RENOVATE 1/2 BATH	1	REPLACE VANITY "N-KIND". REPLACE FLOORING. DEEP CLEAN ENTIRE BATHROOM	SEE NOTES ON SHEET 6
C	REPLACE ALL LIGHTING FIXTURES THROUGHOUT UNIT	THROUGHOUT (FIELD VERIFY)	REPLACE "N-KIND"	SEE NOTES ON SHEET 6
D	REPLACE WASHER AND DRYER	1 EACH	WASHER: GE MODEL NO. GTYM45ASWWB. DRYER: GE MODEL NO. GTD48EASWWB	SEE NOTES ON SHEET 6
E	REPLACE RANGE UNIT	1	HOTPOINT MODEL NO. RBS160D12WW	SEE NOTES ON SHEET 6
F	REPLACE WINDOW BLINDS THROUGHOUT UNIT	9	2" FAUX WOOD, VINYL BLINDS	SEE NOTES ON SHEET 6
G	REPAIR EXTERIOR TRIM	SEE PHOTOGRAPHS	SEE NOTES ON SHEET 3. PAINT PER TECHNICAL SPECIFICATION 09900.	SEE NOTES ON SHEET 6
H	REPAIR DOOR JAMB	2	REPAIR DAMAGED DOOR JAMB TO ENSURE SECURE AND SEALED CLOSURE OF THE DOOR	SEE NOTES ON SHEET 6
I	REPAIR / REPLACE INTERIOR DOOR PULLS AND KNOBS AS NEEDED	SEE FLOOR PLANS	MATCH EXISTING	SEE NOTES ON SHEET 6
J	REPLACE WINDOW	1	36" X 60" WINDOW TO MATCH EXISTING (INSULATED)	SEE NOTES ON SHEET 6
K	RENOVATE BATHROOM	1	REPLACE FLOORING "N-KIND". REPLACE VANITY "N-KIND". DEEP CLEAN ENTIRE BATHROOM.	SEE NOTES ON SHEET 6
L	RENOVATE BATHROOM	1	REPLACE FLOORING "N-KIND". REPLACE VANITY "N-KIND". DEEP CLEAN ENTIRE BATHROOM.	SEE NOTES ON SHEET 6
M	REPLACE FLASHING BETWEEN BALCONY AND EXTERIOR WALL	SEE FLOOR PLAN DIMENSIONS	REPLACE APPROXIMATELY 13' OF FLASHING BETWEEN BALCONY AND EXTERIOR WALL "N-KIND" USING LIKE MATERIALS. FLASHING SHALL ENSURE WATER IS DIRECTED AWAY FROM THE DWELLING UNIT. FLASHING SHALL NOT PENETRATE THE DWELLING UNIT.	SEE NOTES ON SHEET 6
N	REPLACE FLOORING WHERE DAMAGED	SEE PHOTOGRAPHS AND FLOOR PLAN DIMENSIONS	12" X 12" VINYL TILE (MATCH EXISTING)	SEE NOTES ON SHEET 6
O	REPLACE CEILING FANS IN ALL BEDROOMS	3	44" DIAMETER FLUSH MOUNT, 5-BLADE W/ LIGHT KIT	SEE NOTES ON SHEET 6
P	REPAIR HANDRAIL IN STARWELL	1	RE-ATTACHED HANDRAIL TO STARWELL WALL USING WOOD SCREWS. ANCHOR DIRECTLY INTO STUD IF AVAILABLE. USE DRYWALL MOUNTING HARDWARE IF NEEDED	SEE NOTES ON SHEET 6
Q	PAINT ALL INTERIOR WALLS, CEILING, AND TRIM	SEE FLOOR PLAN FOR DIMENSIONS	See Technical Specification 09900	INSTALLATION PER INDUSTRY STANDARDS FOR WORKMANSHIP. BRUSH STROKES AND ANY IMPERFECTIONS SHALL BE CORRECTED UPON DISCOVERY.
R	DEMOLISH & REPLACE ALL BALCONY FLOOR BOARDS	SEE FLOOR PLAN FOR DIMENSIONS	REPLACE BALCONY FLOOR BOARDS W/ COMPOSITE DECK BOARDS (TREX ENHANCE BASICS 1" X 6" GROOVED, OR APPROVED EQUAL) COLOR CHOSEN BY OWNER.	SEE NOTES SHEET 6. INSTALL COMPOSITE DECK BOARD (TREX, OR EQUAL) PER MFGR INSTRUCTIONS
S	REPAIR CEILING DRYWALL	SEE PHOTOGRAPH SHEET 9	SEE TECHNICAL SPECIFICATION 09250	SEE NOTES ON SHEET 6

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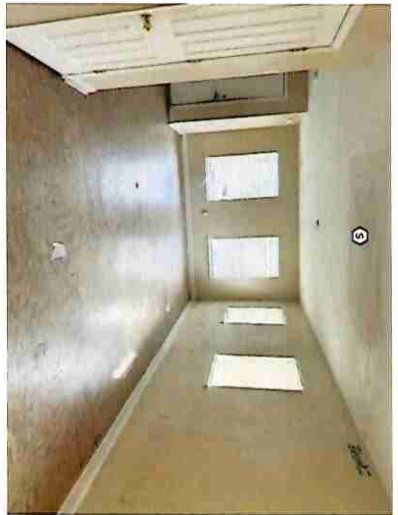
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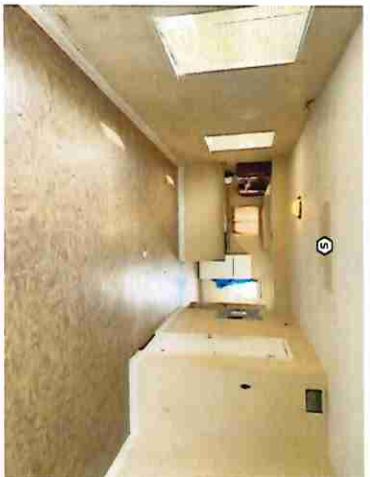
1/2 BATH



WASHER/DRYER CLOSET



LIVING / DINING (FACING FRONT)



LIVING / DINING (FACING BACK)



PRIMARY BATH



PRIMARY BEDROOM



STAIRWELL



FULL BATH



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FRONT ELEVATION



FRONT PORCH COLUMN (TOP)



FRONT PORCH COLUMN (BOTTOM)



SIDE ELEVATION



FRONT WINDOW



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