



ADDENDUM NUMBER TWO

12/18/2025

Guste III Community Interior and Exterior Work Items

IFB No. 25-911-35

THIS ADDENDUM IS BEING ISSUED TO INCORPORATE THE FOLLOWING IN THE REFERENCED INVITATION FOR BIDS TO INCLUDE THE QUESTIONS AND ANSWERS, ADDENDUM DRAWING PACKAGE, AND THE PRE-BID SIGN IN SHEETS

Questions and Answers

1. How many permits will be issued for the project?

Answer: One building permit will be filed by ECM for each building.

2. Is the Davis Bacon Act applicable?

Answer: Yes. Reference the wage rates within the bid package.

3. Is DBE applicable?

Answer: Yes. HANO has Section 3, WBE, and MBE requirements for this project. Reference the Employment Training and Contracting Policy within the bid package.

4. Will the Contractor be allowed to use the electrical and water services of the unit, while working in the unit?

Answer: The Contractor will be allowed to use the electrical utilities in the unit in connection with the work of the contract. The Contractor may not use the sinks, showers or toilets for personal use. Portable toilets must be provided.

5. The Scheduled work times for this project is Monday thru Friday from 8:00 AM until 4:00 PM. Is Saturday Work excluded from the Work Schedule?

Answer: Refer to Bid Documents, Specifications Section 01010 - Summary of Work 1.7.C:

On-Site Work Hours: Limit work to working hours of 8:00 am to 6:30 pm

Monday – Friday, except as otherwise indicated.

i. Early Morning Hours: As approved by Owner.

ii. Evening Hours: As approved by Owner.

iii. Late Evening Hours: As approved by Owner.

iv. Holiday Hours: As approved by Owner. Owner will provide a list of observed holidays

6. Allowances. On Sheet G-002 a plan note identifies that the Contractor is to include an Allowance of 10% of his bid as an amount for the Owner (HANO) to use as it sees fit to address items which are not included in the original scope. We are requesting in lieu of a 10% inclusion in the bid as instructed that an allowance item be added to the bid form in a specified amount so that all bids have the same amount. An example would be \$250,000 allowance for unforeseen conditions, or additional work required per the owner's request.

Answer. The requirement to include 10% of the bid amount for unforeseen items will remain.

7. During the walkthrough Legacy requested additional information related to the door replacement required in Building M. Sheet The callout indicates that the door should be 3'- 6" for the new opening. Could you clarify if the actual door should 36" total which would eliminate modification to the masonry work on the doors.

Answer: The width of the new doors will be 36", and the revised sheet A-141 is issued with this addendum.

8. On the Bath surrounds, is it the intention to remove the existing surrounds and replace with another type of surround which would allow for placement of new blocking where there currently is no blocking for handrails?

Answer: Refer to note "TYP 07" on various sheets, etc., and the Product Data Notes on Sheet G-002 which are referenced by TYP 07.

9. In regard to the 101 bathrooms that are to be replaced on this project. Is the intention to provide for a new shower valve and a new tub as well?

Answer: Refer to note "TYP 07" on various sheets, etc., and the Product Data Notes on Sheet G-002 which are referenced by TYP 07.

10. In the note on sheet C22 where the requirement for modification to the concrete porches on the 16 scattered sites. Has the work required to bush or grind the existing concrete taken into account the ponding that will result in the 4' area that is to remain and the possible damage to the existing brick work and the existing handrails? Is another method available to the concrete in order to allow the compliance with the ADA access to the front entrances?

Answer: If the existing porches are concrete slabs that are 4" or less in thickness, the existing porch slab may be sawcut and removed [retaining all brick edging], and replaced with a new 4" slab per specifications, sloped to drain towards street at no more than 1/4":12" slope. Top of Slab at door threshold will be flush with interior floor level.

ABBREVIATIONS

AFF.	ABOVE FINISH FLOOR
BLDG	BUILDING
CNO	CITY OF NEW ORLEANS
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
D/W	DRIVEWAY
DIM. PT.	DIMENSION POINT
EO	EDGE OF
E.F.	EXHAUST FAN
(E)	EXISTING
EX.	EXISTING
EXIST.	EXISTING
EXT.	EXTERIOR
F.F.	FINISH FLOOR
F.O.	FACE OF
FDN	FOUNDATION
GSM	GALVANIZED SHEET METAL
GB	GRAB BAR
HDG	HOT DIPPED GALVANIZED
LAV.	LAVATORY
MFG.	MANUFACTURER
MTL.	METAL
MIN	MINIMUM
(N)	NEW
N.I.C.	NOT IN CONTRACT
NTP	NOTICE TO PROCEED
O.C.	ON CENTER
O/	OVER
PTD	PAPER TOILET DISPENSER
PT	PRESSURE TREATED
R/R	REMOVE AND REPLACE
RA.	RETURN AIR
RAG	RETURN AIR GRILLE
REQ'D	REQUIRED
S.C.D.	SEE CIVIL DRAWINGS
S.A.M.	SELF ADHERING MEMBRANE
S/W	SIDEWALK
SIM	SIMILAR
STL	STEEL
STRL	STRUCTURAL
T.B.D.	TO BE DETERMINED
(TBR&R)	TO BE REMOVED AND REPLACED
TPD	TOILET PAPER DISPENSER
T&B	TOP AND BOTTOM
T.O.	TOP OF
(TYP)	TYPICAL
U	UNDERCUT
(UIP)	USE IN PLACE
W.C.S.T.	WOOD COMPOSITE SUBSTRATE TRIM

ADDRESSES INCLUDED IN PROJECT LOCATION

- 2100 CLIO ST
- 1202,1204 FRERET ST
- 1215,1217,1210,1212,1222,1224 REV. JOHN RAPHAEL WAY
- 1215,1217 S. LIBERTY
- 2410,2412,2322,2324,2306,2308 ERATO ST

THE INTERIOR AND EXTERIOR WORK INCLUDED IN THIS PROJECT WILL BE INSIDE AND AROUND THE VICINITY OF THESE ADDRESSES.

CODE COMPLIANCE

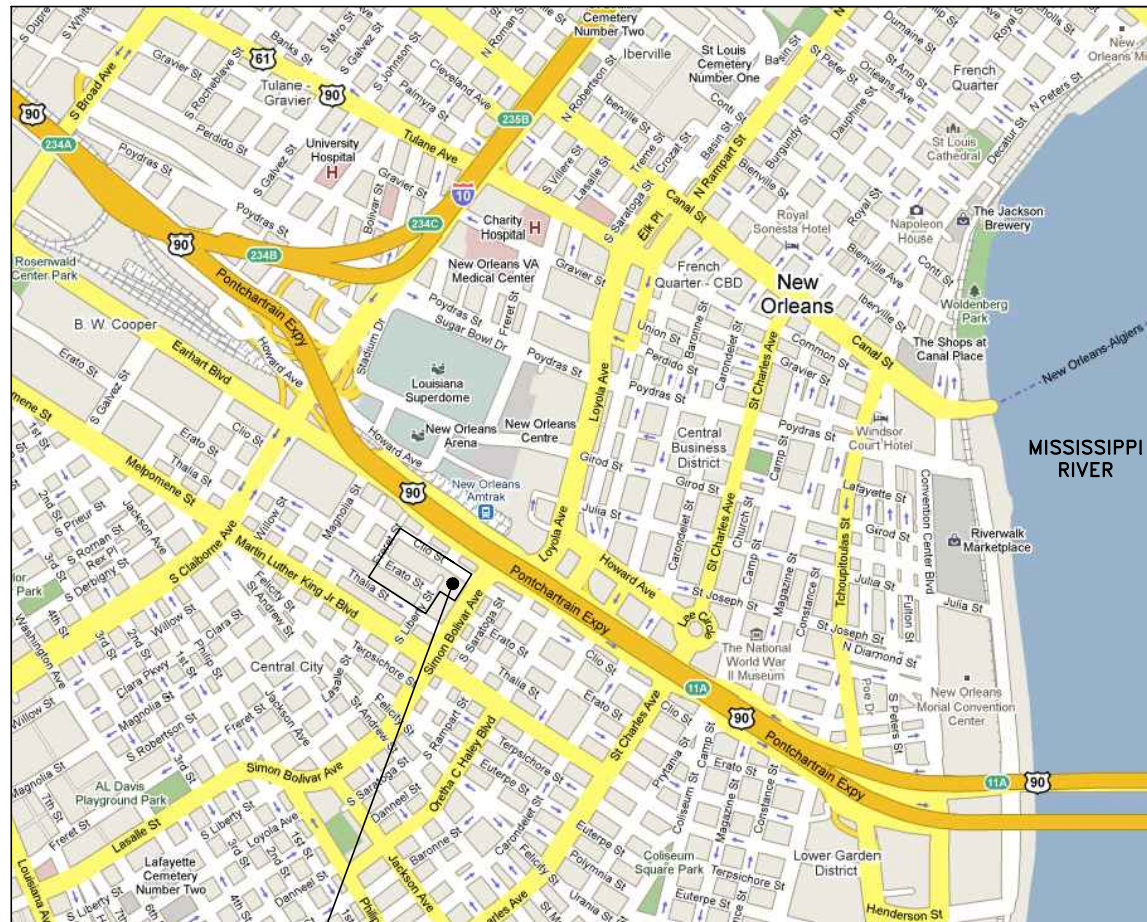
- ALL WORK IS TO BE COMPLAINT WITH FOLLOWING STANDARDS:
- IBC 2018 AND ICE A117.1 – 2009 (THROUGHOUT)
 - ADA 2010 STANDARDS, ICC A117.1 2009, CURRENT LOCAL REQUIREMENTS FOR (ALL PUBLIC & COMMON AREAS) & (PUBLIC SIDEWALKS & CURB RAMPS) WHERE APPROPRIATE THE PROW STANDARDS PUBLISHED BY THE ACCESS BOARD MAY BE APPLIED.
 - ADA 2010 STANDARDS AS REVISED BY THE HUD DEEMING NOTICE (ALL UFAS/ADA UNITS)

GUSTE III COMMUNITY INTERIOR & EXTERIOR REPAIRS

OWNER: HOUSING AUTHORITY OF NEW ORLEANS (HANO)

NEW ORLEANS, LA 70113

IFB # 25-911-35



GUSTE III
PROJECT LOCATION

LOCATION MAP

STANDARD SPECIFICATIONS
THE 2015 CITY OF NEW ORLEANS
STANDARD SPECIFICATIONS AS AMENDED
BY THE PROJECT SPECIFICATIONS, SHALL
GOVERN.

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C-003A	ACCESSIBLE ROUTES IMPROVEMENTS
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C-004A	ACCESSIBLE ROUTES IMPROVEMENTS
C-005	ACCESSIBLE ROUTES IMPROVEMENTS
C-005A	ACCESSIBLE ROUTES IMPROVEMENTS
C-006	ACCESSIBLE ROUTES IMPROVEMENTS
C-006A	ACCESSIBLE ROUTES IMPROVEMENTS
C-007	ACCESSIBLE ROUTES IMPROVEMENTS
C-008	EXTERIOR IMPROVEMENTS
C-009	EXTERIOR IMPROVEMENTS
C-010	EXTERIOR IMPROVEMENTS
C-010A	EXTERIOR IMPROVEMENTS
C-011	EXTERIOR IMPROVEMENTS
C-012	NOT USED
C-013	NOT USED
C-014	EXTERIOR IMPROVEMENTS
C-015	EXTERIOR IMPROVEMENTS
C-016	EXTERIOR IMPROVEMENTS
C-017	EXTERIOR IMPROVEMENTS
C-018	ACCESSIBLE ROUTE IMPROVEMENTS
C-018A	ACCESSIBLE ROUTE IMPROVEMENTS
C-019	EXTERIOR IMPROVEMENTS
C-020	EXTERIOR IMPROVEMENTS
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STANDARD PLANS

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RW2	TYPICAL RDWY. SECTION FOR STREET CONSTRUCTION
RW3	TYPICAL RDWY. SECTION FOR STREET CONSTRUCTION
RW4	TYPICAL RDWY. SECTION FOR STREET CONSTRUCTION

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME,
OR UNDER MY CLOSE PERSONAL SUPERVISION, AND TO THE BEST
OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY
AND STATE REQUIREMENTS. I WILL OBSERVE THE WORK.

BY: _____

REGISTRATION No: _____

REVISIONS	BY

ARCHITECT/ENGINEER:
ECM Consultants, Inc.
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OWNER:
HOUSING AUTHORITY
OF NEW ORLEANS
2051 SENATE ST. BUILDING B, RM. 202
NEW ORLEANS, LOUISIANA 70122

PROJECT:
GUSTE III COMMUNITY
INTERIOR & EXTERIOR REPAIRS

SHEET TITLE:
TITLESHEET

DRAWN	M.L.M.
CHECKED	C.E.J.
DATE	NOV. 21, 2025
SCALE	AS SHOWN
JOB NO.	22462.14
SHEET NO.	G-001

GENERAL NOTES:

1. CONTRACTOR TO VISIT SITE AND EXAMINE ALL EXIST. CONDITIONS, PRIOR TO SUBMITTING A PROPOSAL.
2. SCOPE OF WORK APPLIES ONLY TO THE GUSTE III COMMUNITY DEVELOPMENT LOCATED AT ADDRESSES LISTED ON THE TITLE SHEET IN NEW ORLEANS, LA 70113. CONTRACTOR SHALL ASSUME ALL UNITS IN THE BUILDING ARE OCCUPIED. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT THE EXISTING FINISHES AND CONTENTS OF THE UNITS AND COMMON AREAS (WORK AREAS) AND TO MITIGATE ANY INCONVENIENCE TO THE RESIDENTS.
3. CONTRACTOR SHALL COORDINATE ALL SELECTIVE DEMOLITION AND CONSTRUCTION ACTIVITIES WITH THE PROPERTY MANAGER AND HANO. PROPERTY MANAGER AND HANO SHALL BE NOTIFIED A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO BEGINNING ANY WORK IN ANY UNIT. PROPERTY MANAGEMENT CONTACT INFORMATION AND THE HANO REPRESENTATIVE'S CONTACT INFORMATION WILL BE PROVIDED AT THE PRECONSTRUCTION CONFERENCE.
4. CONTRACTOR PARKING SHALL BE LIMITED TO LEGAL STREET PARKING. CONTRACTOR VEHICLES THAT BLOCK DRIVES WILL BE SUBJECT TO BEING TOWED AT THE EXPENSE OF THE CONTRACTOR (VIA CHANGE ORDER CREDIT IF REQUIRED).
5. ALL MATERIALS SHALL BE NEW AND SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED.
6. UPON ISSUANCE OF THE NOTICE TO PROCEED, CONTRACTOR SHALL SCHEDULE A VISITATION TO EACH RESIDENTIAL UNIT WITH PROPERTY MANAGEMENT AND HANO SO THAT ALL NECESSARY MEASUREMENTS FOR ORDERING AND/OR FABRICATING MATERIALS MAY BE DETERMINED. AS THE RESIDENTIAL UNITS ARE OCCUPIED, ONLY ONE VISITATION WILL BE ALLOWED PER UNIT FOR THIS PURPOSE. FAILURE TO TAKE PROPER MEASUREMENTS WILL NOT BE CAUSE FOR AN INCREASE TO CONTRACT PRICE AND/OR TIME.
7. NO WORK SHALL BEGIN UNTIL ALL MATERIALS ARE AVAILABLE AND READY FOR INSTALLATION IN ANY GIVEN WORK AREA IN THE BLDG.
8. DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE BUILDING THE SAME DAY THAT THEY ARE REMOVED. DEMOLISHED MATERIALS SHALL NOT BE LEFT IN THE UNITS NOR STORED ON SITE EXCEPT IN APPROVED DUMPSTERS.(NOTE:HANO HAS NO INTEREST IN RETAINING ANY SALVAGEABLE MATERIALS. SHOULD THE CONTRACTOR CHOOSE TO SALVAGE ANY MATERIALS, THEY MAY NOT BE SOLD ON-SITE.)
9. CONTRACTOR SHALL COORDINATE THE LOCATION OF DUMPSTER(S) WITH PROPERTY MANAGEMENT AND HANO. CONTRACTOR SHALL PROCURE AND PAY FOR ALL PERMITS FOR DUMPSTER USE THAT MAY BE REQUIRED BY GOVERNING AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL POLICE ITS DUMPSTERS. NEITHER HANO NOR PROPERTY MANAGEMENT ASSUMES ANY RESPONSIBILITY FOR THE MISUSE OF THESE DUMPSTERS BY ANYONE. CONTRACTOR SHALL PROVIDE A STAGING PLAN FOR REVIEW AND APPROVAL BY PROPERTY MANAGEMENT AND HANO.
10. CONTRACTOR SHALL LEAVE THE WORK AREAS IN A BROOM-SWEPT CONDITION AT THE END OF EACH WORKDAY. CONTRACTOR SHALL PERFORM A THOROUGH "POWDER PUFF" CLEANING AT EACH WORK AREA UPON COMPLETION OF THE WORK. FINAL CLEANUP WORK SHALL BE PERFORMED BY A PROFESSIONAL CLEANING SERVICE.
11. SHOULD THE WORK WITHIN A UNIT EXTEND BEYOND ONE (1) DAY CONTRACTOR SHALL IMMEDIATELY NOTIFY PROPERTY MANAGEMENT AND HANO PRIOR TO 2:00 PM. CONTRACTOR SHALL TAKE ALL MEASURES TO REMEDY ANY POTENTIALLY DANGEROUS CONDITIONS & OTHER ELEMENTS THAT MIGHT CAUSE A MATERIAL INCONVENIENCE TO THE RESIDENTS. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS TO KEEP ALL RESIDENTS FROM ANY POTENTIALLY DANGEROUS AREAS. CONTRACTOR TO PROVIDE PLYWOOD COVER AT ANY UNSECURED OPENING TO THE EXTERIOR. ALL SUCH MEASURES SHALL BE INCLUDED THE CONTRACT LUMP SUM.
12. CONTRACTOR SHALL MAKE ITS BEST EFFORT TO AVOID DAMAGE TO THE EXISTING FINISHES. ANY REQUIRED REMEDIAL WORK RESULTING FROM CONTRACTOR ACTIVITIES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR. SHOULD THE CONTRACTOR FAIL TO PERFORM SUCH REMEDIAL WORK, HANO WILL COMPLETE THIS WORK AND BACK CHARGE THE COST TO THE CONTRACTOR PLUS TEN PERCENT (10%) FOR ADMINISTRATIVE COSTS.
13. SCHEDULE: CONTRACTOR SHALL PROVIDE AN INITIAL SCHEDULE FOR THE WORK AT THE PRE-CONSTRUCTION CONFERENCE. THE SCHEDULE SHALL INCLUDE THE FOLLOWING AT A MINIMUM:
 - CONTRACT START DATE AS DEFINED BY NOTICE TO PROCEED(NTP)
 - CONTRACT COMPLETION DATE AS DEFINED BY THE (NTP)
 - TIME FRAMES FOR NOTIFYING RESIDENTS OF A MINIMUM OF THREE (3) BUSINESS DAYS. (FAILURE TO PROPERLY NOTIFY RESIDENTS IN A TIMELY FASHION SHALL NOT BE CAUSE FOR AN INCREASE IN THE CONTRACT TIME. NOTIFICATION TO BE MADE BY FACILITY MANAGEMENT. CONTRACTOR TO ALLOW TIME IN THE SCHEDULE FOR THIS PRIOR NOTIFICATION.)

- REMEDIAL WORK ON A FLOOR-BY-FLOOR OR UNIT BASIS

• CONTRACTOR PUNCH ON A FLOOR-BY-FLOOR OR UNIT BASIS

• ARCHITECTURAL PUNCH ON A FLOOR-BY-FLOOR BASIS

• AN UPDATED SCHEDULE SHALL BE SUBMITTED BY CONTRACTOR UPON COMPLETION OF ITS REVIEW OF THE WORK AREAS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITIES TO THE BUILDING. CONTRACTOR MAY USE EXISTING UTILITIES AS REQUIRED TO PERFORM THE REQUIRED WORK. ANY DISRUPTION TO THESE UTILITIES SHALL BE COORDINATED WITH PROPERTY MANAGEMENT AND HANO A MINIMUM OF THREE (3) BUSINESS DAYS IN ADVANCE. LENGTH OF SERVICE INTERRUPTION SHALL ALSO BE PRE-DETERMINED PRIOR TO INTERRUPTION.
15. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DEVELOPING & MAINTAINING ALL SAFETY MEASURES AND PROGRAMS ASSOCIATED WITH THE WORK AND HANO ASSUMES NONE OF THIS RESPONSIBILITY.
16. CONTRACTOR SHALL EXERCISE CARE WHEN WORKING AROUND THE LANDSCAPING. ANY PLANTS OR SOD THAT IS DAMAGED DURING THE COURSE OF PERFORMING THE WORK SHALL BE REPLACED BY THE CONTRACTOR WITH LIKE MATERIALS.
17. CONTRACTOR SHALL PROPERLY DEMARCAT E AND PROTECT ALL WORK AREAS AS NECESSARY TO PROTECT THE PUBLIC AND RESIDENTS. THE WORK AREAS SHALL BE PROPERLY PROTECTED AT THE END OF EACH WORKDAY.
18. CONTRACTOR SHALL COORDINATE THE USE OF ONE (1) ELEVATOR CAR WITH PROPERTY MANAGEMENT AND HANO AT THE 'M' BUILDING. THIS INCLUDES THE POSSIBILITY OF LOCKING OUT THE CAR FOR THE CONTRACTOR'S USE ONLY, WHICH IS NOT GUARANTEED. CONTRACTOR SHALL PROTECT THE INTERIOR OF THE ASSIGNED CAR WITH PADS ON THE WALLS AND WITH PLYWOOD 4' UP AT THE OUTSIDE OF THE PAD AND PLYWOOD ON THE FLOOR. CONTRACTOR SHALL INSTALL AND MAINTAIN SIGNS ON THE ELEVATOR DOORS AT EACH FLOOR WITH THE FOLLOWING VERBIAGE:

CAUTION¹
ELEVATOR CLOSED²
FOR
CONSTRUCTION²
DO NOT USE²
19. LETTERS SHALL BE PRINTED IN RED ON 8-1/2" X 11" PAPER AND LAMINATED. THE FONT SHALL BE ARIAL 100¹ AND 72² AS INDICATED ABOVE. INSTALL SIGNS WITH REMOVABLE ADHESIVE. DO NOT MECHANICALLY FASTEN THE SIGNS. ENSURE THAT SIGNS DO NOT INTERFERE WITH THE OPERATION OF THE ELEVATOR DOORS.
20. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE ORDERING OF MATERIALS AND THE START OF WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR RESOLUTION.
21. CONTRACTOR SHALL DOCUMENT ALL EXISTING CONDITIONS WHERE WORK MAY BE PERFORMED AS DESCRIBED IN A MANNER AS DESCRIBED IN THE SUPPLEMENTAL INFORMATION SECTION PROVIDED IN THE SPECIFICATIONS. PRE-CONSTRUCTION, CONSTRUCTION AND FINAL COMPLETION PHOTOS SHALL BE PROVIDED TO DOCUMENT THE EXISTING CONDITIONS AND THE WORK PERFORMED.
22. THE CONTRACTOR SHALL PROVIDE & PAY FOR ALL REQ'D PERMITS REQUIRED BY THE GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- STAGING NOTES:
1. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE GUSTE PROPERTY MANAGEMENT DEPARTMENT AND HANO TO ENSURE MIN. DISRUPTION WITH THE OPERATIONS OF THE FACILITY. REFER TO GENERAL NOTES FOR THE PRIOR NOTICE REQUIREMENTS. AS THE WORK PROGRESSES, THE CONTRACTOR SHALL CONTINUE TO PROVIDE PRIOR NOTIFICATION IN ORDER TO COORDINATE THEIR MOVEMENT WITHIN THE FACILITY.
2. CONTRACTOR TO SUPPLY FOR REVIEW AND APPROVAL A SCHEDULE OF THE WORK INDICATING THE CONTRACTOR'S PLAN FOR THE PROGRESS OF THE CONSTRUCTION. THIS SCHEDULE SHALL INCLUDE THE ANTICIPATED DATES WHEN WORK IS TO BE PERFORMED AT THE BUILDING'S COMMON AREAS. WORK WITHIN THE UNITS SHALL BE GIVEN AN ANTICIPATED START TIME AND COMPLETION TIME FOR THAT UNIT'S WORK.
3. CONTRACTOR SHALL PROVIDE TEMPORARY BARRIER(S) TO SEPARATE THE BUILDING TENANTS AND THE PUBLIC FROM ANY PORTION OF THE WORK BEING PERFORMED.
4. CONTRACTOR SHALL AT ALL TIMES PROVIDE UNOBSTRUCTIVE ACCESS TO ALL EXITS FROM BUILDING. AT NO POINT SHALL ACCESS TO EXITS BE BLOCKED.
5. CONTRACTOR SHALL PROVIDE A STAGING PLAN SHOWING THE LOCATION OF DUMPSTERS, STAGING OF MATERIALS, PORTABLE TOILETS, ETC. AT PRECONSTRUCTION CONFERENCE FOR REVIEW AND APPROVAL BY HANO.

DEMOLITION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE, AND SCOPE OF WORK DESCRIBED IN THE DOCUMENTS WITH THE EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICING, SUPERVISION, ETC. TO EXECUTE ALL PHASES OF THE WORK.
2. CONTRACTOR SHALL CONTINUOUSLY AND CONSISTENTLY MAINTAIN THE SAFETY OF THE STRUCTURE, WORKERS AND THE GENERAL PUBLIC. NO STRUCTURAL MEMBER SHALL BE CUT OR MANIPULATED IN ANYWAY WITHOUT PRIOR APPROVAL. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE. SHORING TO MAINTAIN STRUCTURAL INTEGRITY OF THE BUILDING SHALL BE USED AS REQUIRED.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF THE WORK. THE EXISTING CONSTRUCTION MAY VARY AT DIFFERENT AREAS OF THE BUILDINGS. CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO THE START OF THE WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES FOUND.
4. CONTRACTOR TO PROTECT EXISTING CONSTRUCTION TO REMAIN. ANY DAMAGE DUE TO CONTRACTOR ACTIVITY SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.
5. CONTRACTOR TO PROVIDE COMPLETE DUST PROOF ENCLOSURE AT ALL AREAS WHERE DEMOLITION IS TO OCCUR.
6. CONTRACTOR TO COMPLY WITH ALL OSHA, NFPA AND OTHER APPLICABLE CODES AND REGULATIONS ADDRESSING THIS PROJECT.
7. ALL UTILITIES ARE TO BE IDENTIFIED BY THE CONTRACTOR.
8. REMOVE ALL DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF ALL WASTE MATERIALS ON A DAILY BASIS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE. REMOVE AND TRANSPORT DEBRIS IN A MANNER TO PREVENT SPILLAGE ONTO ADJACENT AREAS OR ROADWAYS.
- PRODUCT DATA NOTES:
1. FOR DOOR CLOSURES, PROVIDE NORTON RIXSON 2800ST SERIES CLOSER FROM ASSA ABLOY OR APPROVED EQUAL. FINISH TO MATCH EXISTING. SEE NFPA 101 REQUIREMENT BELOW.
2. FOR NEW THRESHOLDS TO REPLACE EXISTING,PROVIDE THRESHHOLD FROM ASSA ABLOY OR APPROVED EQUAL. THRESHOLDS MUST MEET ALL HANDICAP REQUIREMENTS & RESTRICTIONS. REFER TO DETAILS
1, 2, & 3 ON SHEET A-142 FOR TYPE OF THRESHOLDS TO PROVIDE.
3. PROVIDE BEVELED THRESHOLD AT THE INTERIOR SIDE OF THE DOORS INDICATED. FOR OFFSETS BETWEEN ¼" & ½" AT OFFSETS BETWEEN ½" AND ¾", PROVIDE THRESHOLD PER DETAIL #2 ON SHEET A-142. AT OFFSETS BETWEEN ¾" AND 1", PROVIDE THRESHOLD PER DETAIL #3 ON SHEET A-142. AT ENTRANCE DOORS TO LOBBY REFER TO DETAIL #1 ON SHEET A-142 FOR THRESHOLD TYPES.
4. ALL OUTLETS 6" FROM A WATER SOURCE MUST BE A GFI OUTLET. CONTRACTOR TO PROVIDE GFI OUTLETS AT THESE LOCATIONS.
5. PROVIDE NEW UNISEX TOILET SIGNAGE AT FOURTH FLOOR PUBLIC TOILET ROOMS IN COMMUNITY ROOM. SIGNAGE TO BE INSTALLED PER HANDICAP REQUIREMENTS. (2 TOTAL)
6. PROVIDE NEW VANITY LAVATORY AND BASE CABINET TO MATCH EXISTING. LAVATORY TO BE PER GERBER - MAXWELL DROP-IN SINK MODEL NO. G0012834CH OR APPROVED EQUAL. LAVATORY MUST COMPLY WITH ADA REQUIREMENTS FOR ACCESSIBILITY. FAUCET TO BE AMERICAN STANDARD 75-509 SOFT 2 HANDLE CENTERSET WITH LEVER HANDLES OR APPROVED EQUAL SINK BASE TO BE HASB24-BPD-STORE TO BE SHAKER II - PARTIAL OVERLAY FOR TIDWELL CABINETRY. COLOR OF VANITY TO BE BRIGHT 3"X30" FILLER AND TOE BOARD MOLDING.
7. PROVIDE NEW TUB SURROUND WHERE INDICATED. PROVIDE KOHLER-STERLING ENSEMBLE™ MEDLEY 60"x30" VIKCELL BATH/SHOWER (71370110) OR APPROVED EQUAL. CONTRACTOR TO MATCH THE TUB'S EXISTING CONDITIONS AT EACH TUB TO BE REPLACED. NEW TUB TO BE BOOTZ MAUI PORCELAIN ENAMELED STEEL OR APPROVED EQUAL.
8. PROVIDE LAVGUARD 2 E-Z SERIES WASTE AND SUPPLY PIPE COVERS COMPLYING WITH ADA REQUIREMENTS OR APPROVED EQUAL.
9. BALCONY WORK SPECIFICATIONS SECTION IN THE SPECIFICATION IS TO PROVIDE INFORMATION ON THE REQUIREMENTS FOR THE WORK TO BE PERFORMED AT THE BALCONY AND THE DOORS TO BE REPLACED.
10. PROVIDE MAILBOX SUITES PER VERSATILE 4C MODEL No.4C06D-10+ OR APPROVED EQUAL. MAILBOX SUITE , MUST BE USPS APPROVED AND MEET ADA INSTALLATIONS REQUIREMENTS SEE DETAIL #2 ON SHEET A-141 FOR LAYOUTS.
11. PROVIDE NEW KITCHEN SINK WHERE INDICATED. SINK TO BE ELKAY CROSSTOWN STAINLESS STEEL 31-1/2" X 18-1/2" X 9" EQUAL DOUBLE BOWL UNDER MOUNT SINK. MODEL ECTRU31179T OR APPROVED EQUAL.
12. PROVIDE AND INSTALL NEW TUB AND TUB SURROUND FAUCET FIXTURE WHERE INDICATED. DELTA MODEL 134900 OR APPROVED EQUAL

STRUCTURAL NOTES:

WELDING NOTES:

1. ALL WELDING SHALL BE ELECTRIC WELDING,WORKMANSHIP AND TECHNIQUE, WHERE APPLICABLE SHALL CONFORM TO THE AMERICAN WELDING SOCIETY STRUCTURAL WELDING CODE AWS D1.1. ELECTRODE TO BE USED IN WELDING WILL BE E70XX.
2. FIELD VERIFY DIMENSIONS BEFORE ANY FABRICATION.
3. ALL SURFACES AT THE WELDING JOINTS TO BE GROUND SMOOTH AND PAINTED AFTER THE WELDING.

CONCRETE NOTES:

1. CONC. SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF (f'c) 4000 PSI AT 28 DAYS.
2. REINFORCING STEEL SHALL HAVE A MIN. YIELD STRENGTH(Fy) OF 60000 PSI.
3. ARCYLIC LATEX BONDING AGENT OR EQUAL APPRROVED BY THE ENGINEER TO BE USED WHEREVER OLD CONC. SURFACE MEETS FRESHLY POURED CONCRETE. SURFACE PREPERATION AND BONDING AGENT APPLICATION AGENT,ACCORDING TO MANUFACTURERS RECOMMENDATION.

PAINTING NOTES:

1. ALL HANDRAILS TO BE PAINTED WITH HYDROGLOSS SINGLE COMPONENT WATER BASED URETHANE PAINT OR EQUAL APPROVED BY THE ENGINEER.COLOR TO MATCH EXISTING HANDRAILS.

GUARDRAIL NOTES:

1. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOR (PLF) (0.73 kN/m) IN ACCORDANCE WITH SECTION 4.5.1.1 OF ASCE-7.

BOLT NOTES:

1. ALL NEW BOLTS USED FOR ATTACHING NEW GUARDRAIL TO RETAINING WALL OR PAVEMENT SHALL MATCH THE SPECIFICATIONS OF A ¾" HILTI KWIK BOLT AT MIN.

DIMENSIONS NOTES:

1. ALL DIMENSIONS ON PLANS AND DRAWINGS ARE (±).ALL DIMENSIONS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK AND NOTIFIED TO THE ENGINEER IN CASE OF ANY DISCREPANCIES . ALL MEASUREMENTS TO BE FIELD VERIFIED BEFORE ORDERING MATERIALS AND FABRICATION OF COMPONENTS .

SAW CUTTING NOTES:

- 1.CONCRETE SAW CUTTING WILL BE REQUIRED AT RAMP LOCATIONS. CONCRETE TO BE CHIPPED 3 INCHES AFTER SAW CUTTING BEFORE PLACING FRESH CONCRETE ALONG WITH BONDING AGENT TO FORM A GOOD BOND BETWEEN OLD AND NEW CONCRETE SURFACE.

SIDEWALK AND DRIVEWAY NOTES:

- 1.ALL SIDEWALKS TO BE A MINIMUM OF 5 INCHES THICK AND ALL DRIVEWAYS TO BE A MINIMUM OF 6 INCHES THICK.NEW CONCRETE WORK TO MATCH THE EXISTING GRADE WHEN JOINING WITH ADJACENT CONCRETE. CONTRACTOR TO COMPLY WITH CNO STANDARD SPECIFICATIONS FOR TEMPORARY EROSION CONTROL. CONCRETE AT ALL LOCATIONS (INCLUDING RAMPS) TO BE TESTED IN ACCORDANCE WITH REQUIREMENTS OF SECTION 00743 OF PROJECT SPECIFICATIONS DURING EVERY SCHEDULED CONCRETE POUR.
- 2.ALL CONNECTION TO THE EXISTING PAVEMENTS WILL BE LESS THAN 2% CROSS SLOPE AND WILL BE FREE OF ANY GAPS AND LEVEL CHNAGES. CROSS SLOPE AND RUNNING SLOPE CANNOT EXCEED 2% AT LANDINGS , TURNS, DOORS AND DOOR MANEUVERING SPACES IN ANY DIRECTION.

TRASH PAD NOTES:

- 1.TRASH PAD IS A 3' X 3' CONCRETE SIDEWALK ADJACENT TO ADA ACCESSIBLE ROUTE. FOR PURPOSE OF MEASUREMENT AND PAYMENT IT SHALL BE PAID AS REGULAR CONCRETE SIDEWALK.

SLOPE NOTES:

- 1.ALL RAMP LENGTHS ARE BASED ON 7.5 % SLOPE. IF THE RAMP LENGTHS EXCEED 8.33% WHILE CONSTRUCTION THEN THEY SHALL BE REDONE TO MEET ADA REQUIREMENTS AT NO COST TO THE OWNER.

NFPA 101 - DOOR SWINGS AND FORCE TO OPEN

7.2.1.4.5 - THE FORCES REQUIRED TO FULLY OPEN ANY DOOR MANUALLY IN A MEANS OF EGRESS SHALL NOT EXCEED 15 LBF (67 N) TO RELEASE THE LATCH, 30 LBF (133 N) TO SET THE DOOR IN MOTION, AND 15 LBF (67 N) TO OPEN THE DOOR TO THE MIN. REQUIRED WIDTH, UNLESS OTHERWISE SPECIFIED IN 7.2.1.4.5.2 THROUGH 7.2.1.4.5.5.

7.2.1.4.5.2 - OPENING FORCES FOR INTERIOR SIDE-HINGED OR PIVOTED- SWINGING DOORS WITHOUT CLOSERS SHALL NOT EXCEED 5 LBF (22 N).

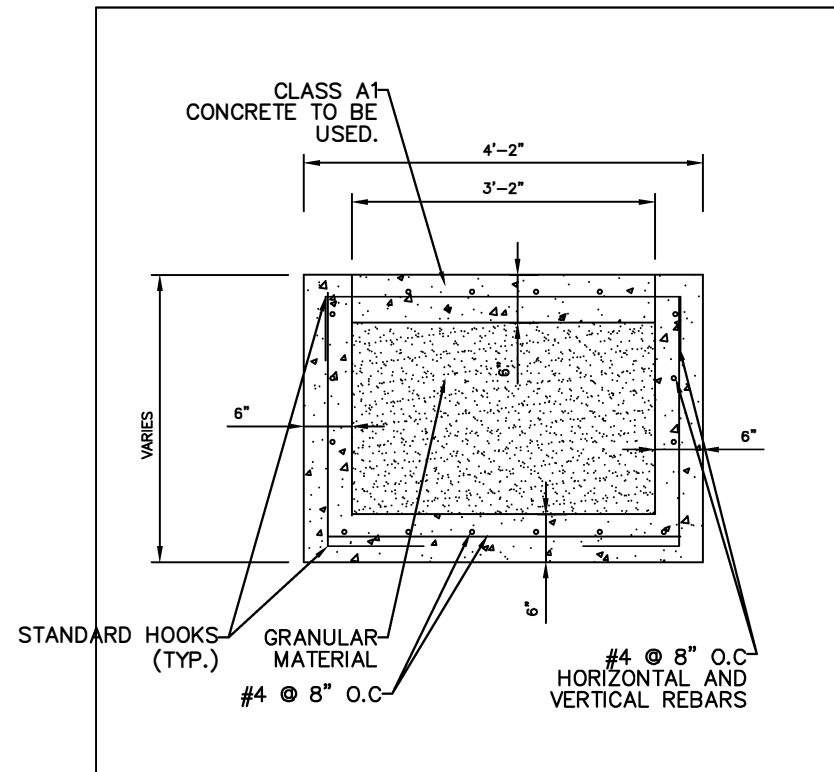
NOTE:

CONTRACTOR TO INCLUDE IN HIS BID AN ALLOWANCE OF 10% OF HIS BID AMOUNT FOR USE AS THE OWNER SEES FIT FOR ITEMS THAT NEED TO BE ADDRESSED THAT ARE NOT IN THE PROJECT. AT THE END OF WORK, ANY MONEY REMAINING IN THE ALLOWANCE WILL BE ADDRESSED BY CHANGE ORDER TO ZERO OUT THE ALLOWANCE AMOUNT.

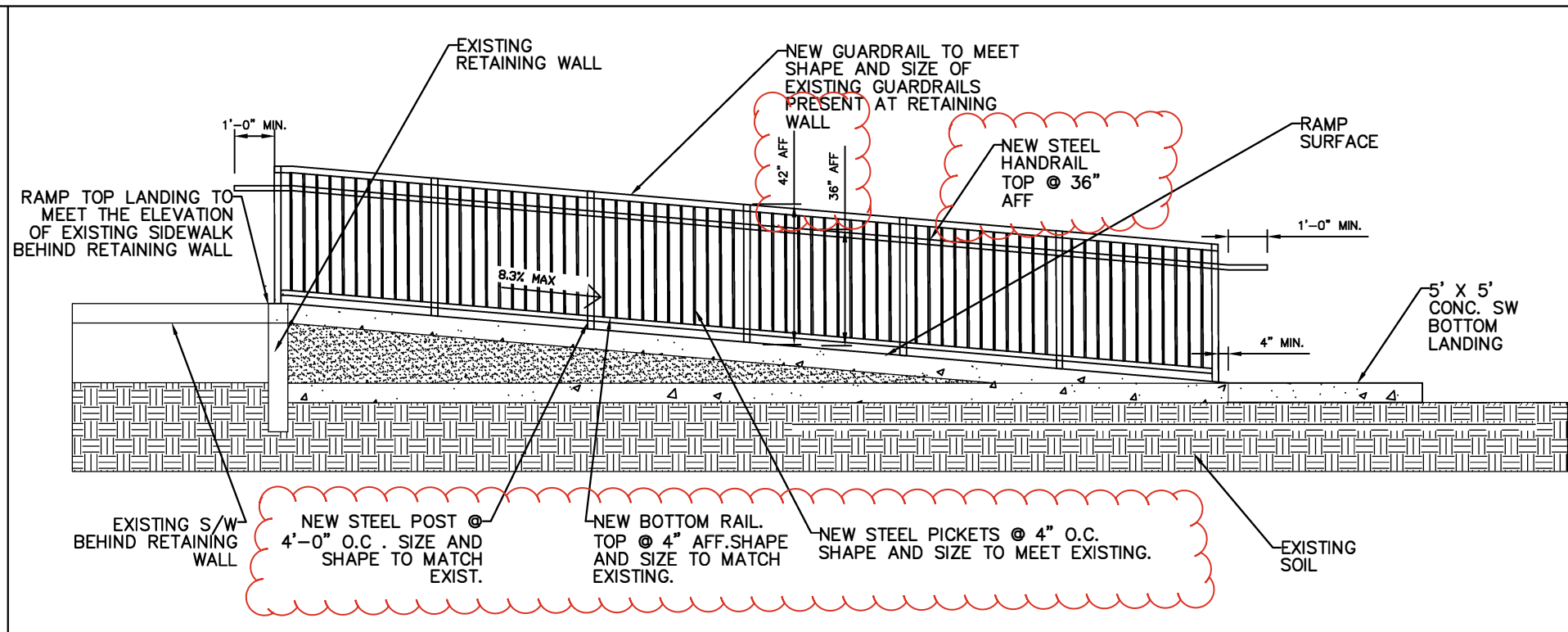
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PROJECT:	GUSTE III COMMUNITY INTERIOR & EXTERIOR REPAIRS	
	SHEET TITLE: GENERAL NOTES	

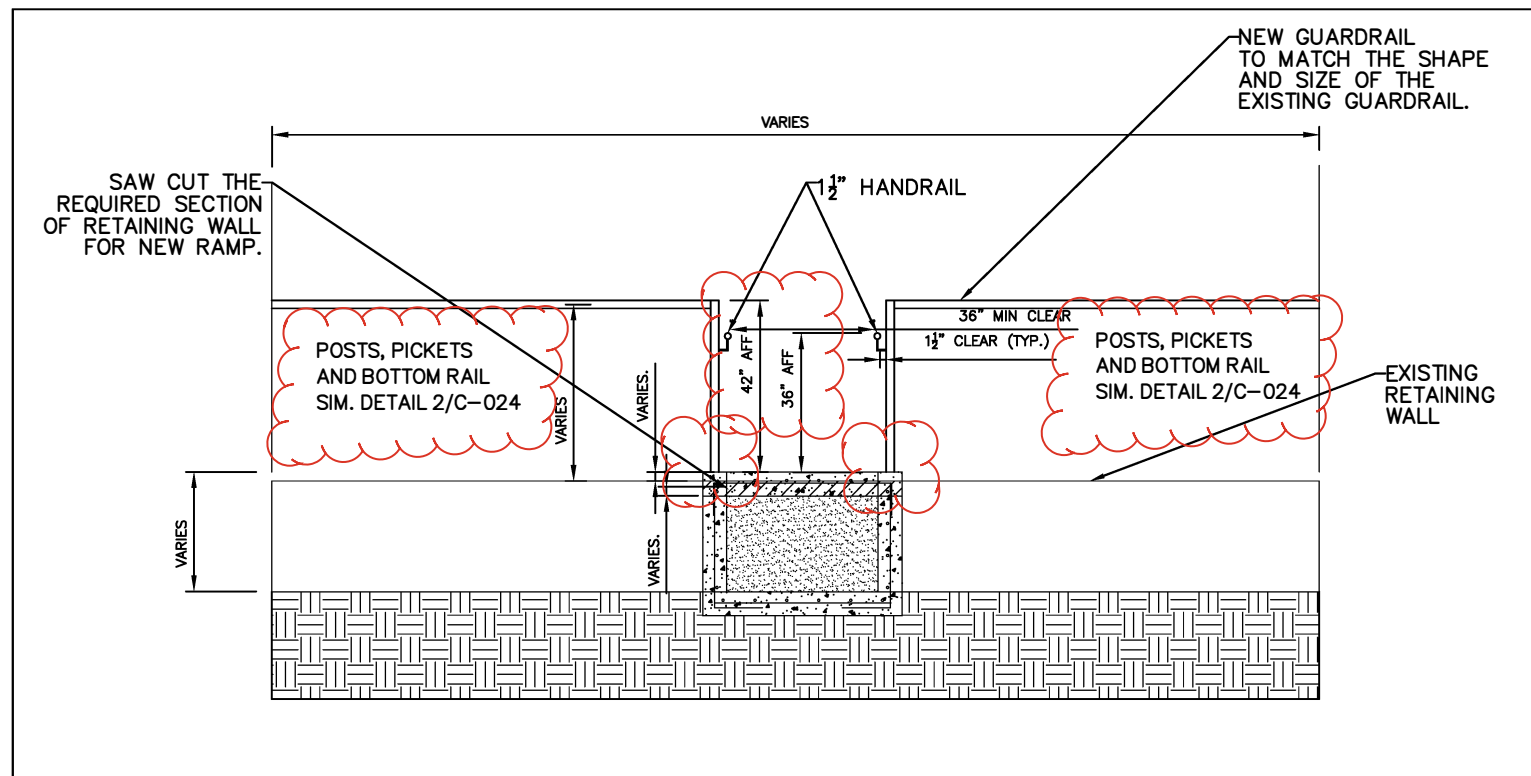
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CHECKED C.E.J.
DATE NOV. 21, 2025
SCALE AS SHOWN
JOB NO. 22462.14
SHEET NO.
G-002



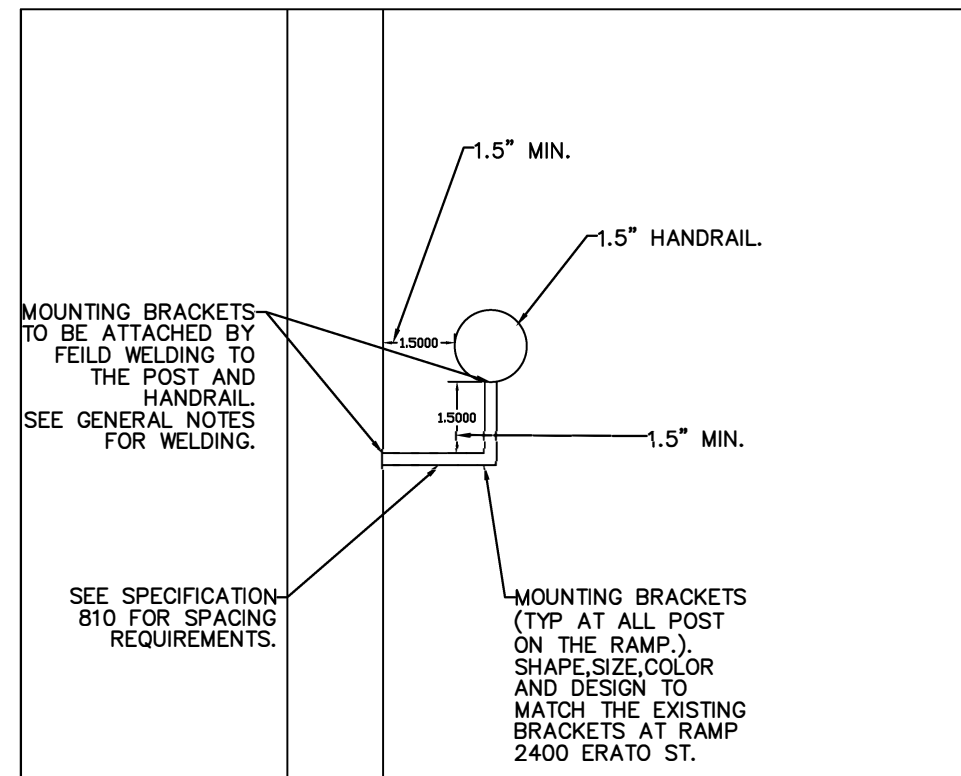
RAMP SECTION DETAIL 1
SCALE: 1" = 1'-0"
C-003A
C-004A
C-005A
C-006A



RAMP SECTION DETAIL 2
SCALE: 1/2" = 1'-0"
C-003A
C-004A
C-005A
C-006A



RAMP SECTION ELEVATION @ RETAINING WALL
SCALE: 1/2" = 1'-0"
C-024 C-024



MOUNTING BRACKETS TYPICAL DETAIL
SCALE: 6" = 1'-0"
C-024 C-024

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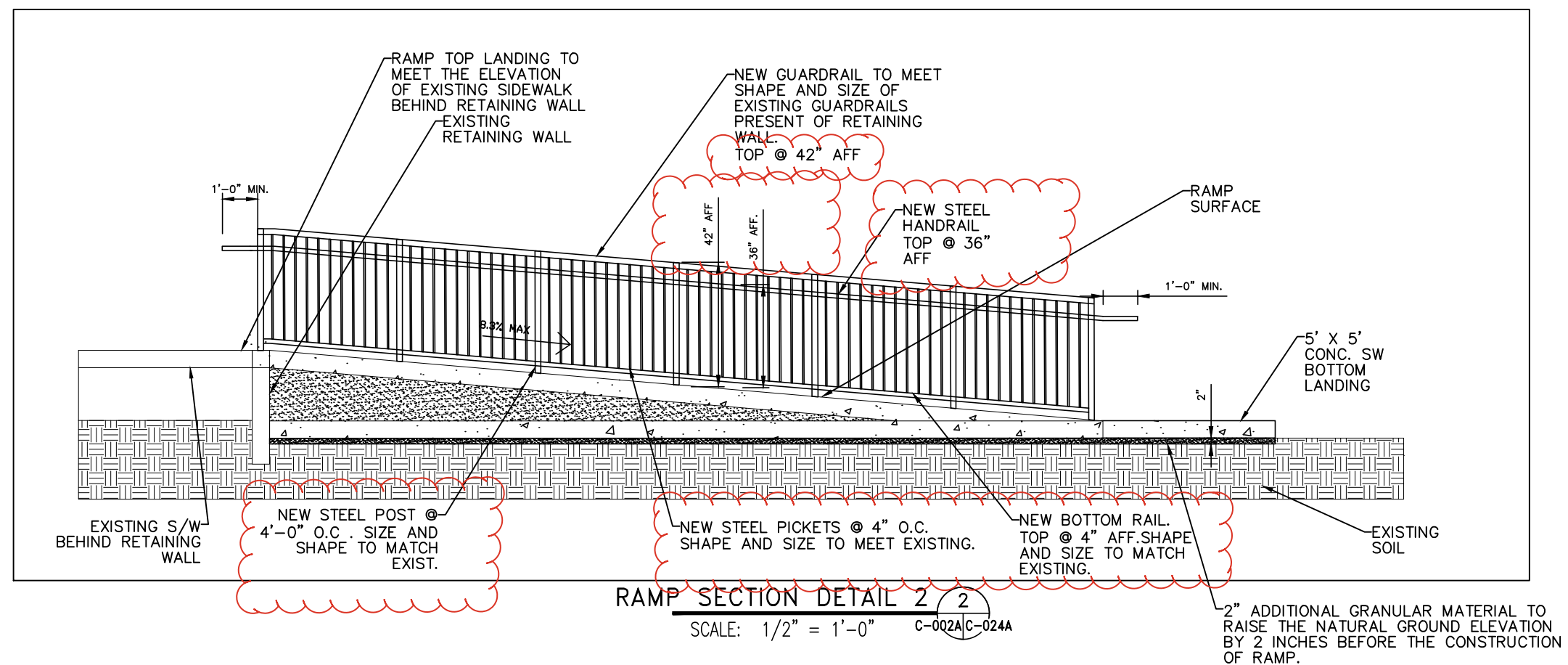
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PROJECT: GUSTE III COMMUNITY
INTERIOR & EXTERIOR REPAIRS
SHEET TITLE: RAMP DETAILS

DRAWN K.A.
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SCALE AS SHOWN
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C-024



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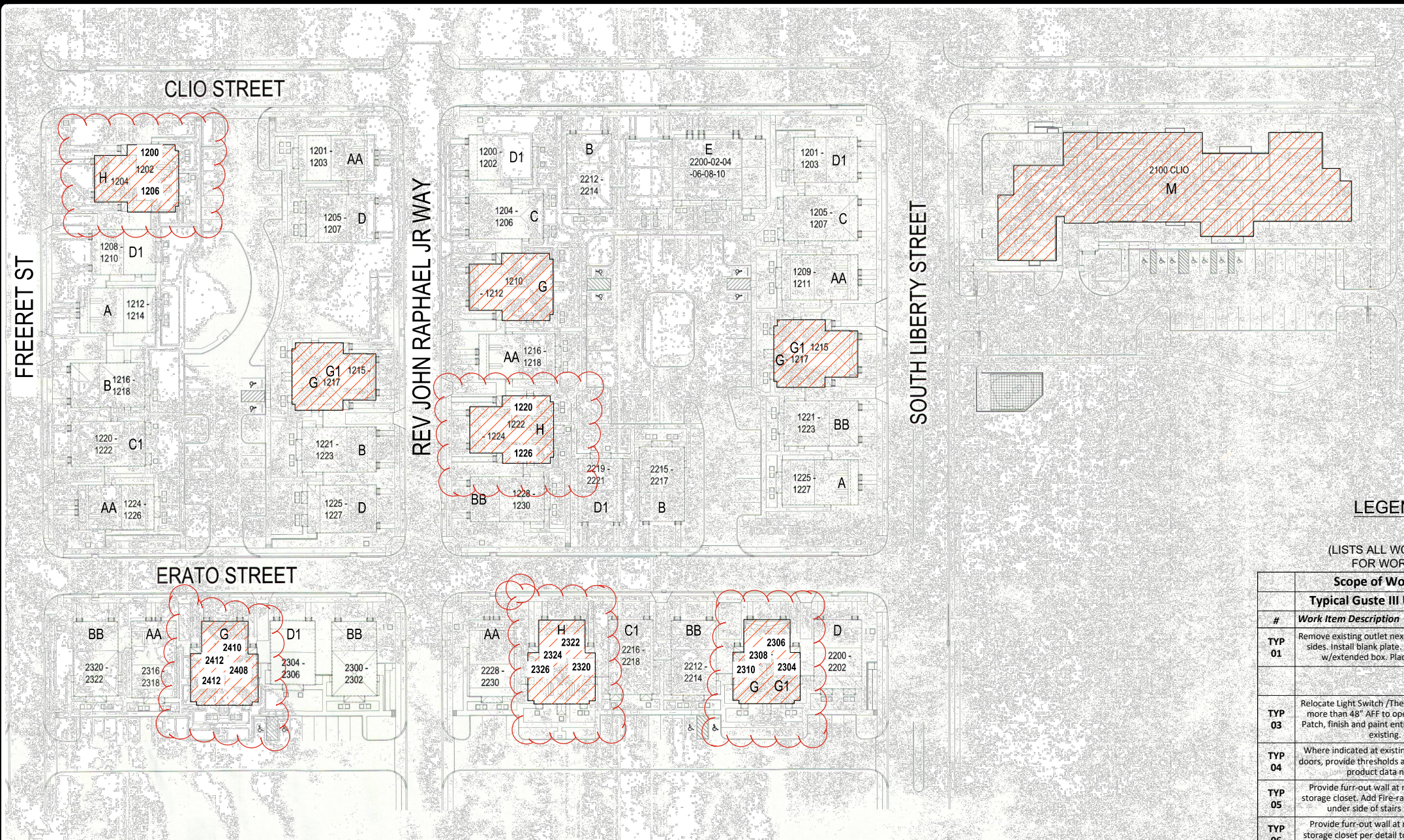
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PROJECT:

GUSTE III COMMUNITY
 INTERIOR & EXTERIOR REPAIRS
 SHEET TITLE:
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C-024A




1
A-100

OVERALL SITE PLAN

SCALE: N.T.S.



LEGEND

 INDICATES BUILDING UNITS TO BE REPAIRED

SEQUENCING AND PHASING OF THE WORK:

CONTRACTOR TO NOTE THAT THE MAJORITY OF THE INTERIOR REPAIRS WILL BE PERFORMED WITHIN OCCUPIED UNITS. CONTRACTOR SHALL SCHEDULE THE WORK WITHIN EACH UNIT TO ALLOW FOR THE CURRENT TENANT TO REMAIN IN THE UNIT. PLUMBING FACILITIES THAT ARE REQUIRED TO BE REPAIRED SHALL BE SCHEDULED TO ALLOW AT LEAST ONE BATHROOM ACCESSIBLE TO THE TENANT AT ALL TIMES DURING THE REPAIRS WITHIN THE UNIT. TEMPORARY BARRIERS SHALL BE USED TO PROTECT THE ON-GOING WORK. THE CONTRACTOR SHALL SCHEDULE THE WORK TO SPEND THE MINIMUM AMOUNT OF TIME WITHIN EACH UNIT. WORKERS SHALL BE AVAILABLE AT ALL TIMES WHEN WORK HAS BEGUN WITHIN A UNIT AND SHALL PERFORM THE REQUIRED WORK AS QUICKLY AS POSSIBLE.

THE CONTRACTOR SHALL SUBMIT PRIOR TO THE START OF THE WORK A SEQUENCING/PHASING SCHEDULE IDENTIFYING THE TIME EACH UNIT IN THE FACILITY WILL BE OCCUPIED BY THE WORKERS, IN ORDER TO INFORM THE TENANTS. THIS SCHEDULE WILL BE CONTINUALLY UPDATED THROUGHOUT THE COURSE OF THE WORK TO KEEP MANAGEMENT AND TENANTS UPDATED TO THE SCHEDULE. THE CONTRACTOR SHALL MAINTAIN A PROJECT MANAGER AND/OR PROJECT SUPERINTENDENT ON SITE DURING ALL WORK ACTIVITIES RELATED TO THIS SCOPE. NO CHANGES IN THE PERSONNEL SHALL OCCUR WITHOUT WRITTEN NOTICE TO THE OWNER.

THE CONTRACTOR WILL HAVE ACCESS TO ONE FLOOR OF THE M-BUILDING AT A TIME. THE CONTRACTOR MAY ACCESS THE 4-PLEXES AT ANY TIME DURING THE CONTRACT PERIOD AFTER THE PROJECT PHASING SCHEDULE IS SUBMITTED BY THE CONTRACTOR AND APPROVED BY HANO.

CONTRACTOR SHALL COMPLETE ALL WORK WITHIN PHASE BEFORE THE CONTRACTOR MAY START ON THE NEXT PHASE

LEGEND OF SCOPE OF WORK SHEETS
(FOR INTERIOR ONLY)

(LISTS ALL WORK ITEMS THAT ARE TO BE PERFORMED IN THE UNITS.
FOR WORK IN SPECIFIC UNITS, SEE SHEETS A-120 TO A-130.)

Scope of Work for		Guste III Housing Development			
Typical Guste III Unit Work		Typical Interior Units			
#	Work Item Description	Unit	Quantity	Reference Notes	Rpt #
TYP 01	Remove existing outlet next to range at both sides. Install blank plate. Relocate outlet w/extended box. Place per code.	Ea		See Photos 4, 5 & 8 on sheet A-143. Outlets to be 36" from corner.	# 55, 64
TYP 03	Relocate Light Switch / Thermostat to be no more than 48" AFF to operating devices. Patch, finish and paint entire wall to match existing.	Ea		Relocate thermostat to 48" to operating buttons per sht G-003.	#25, 29, 31, 34, 41, 54, 65
TYP 04	Where indicated at existing entry/balcony doors, provide thresholds as indicated in the product data notes.	Ea		Refer to Product Data Notes #2 & #3 for type of threshold.	#32, 37, 42, 43, 51
TYP 05	Provide furr-out wall at rear of exterior storage closet. Add Fire-rated gyp board to under side of stairs per detail.	LS		Refer Product Data Notes #1, A & B on sheet A-141 for details	# 52
TYP 06	Provide furr-out wall at rear of interior storage closet per detail to make depth of closet no more than 24".	LS		Refer Product Data Note #1 on sheet A-141 for similar details.	#48, 53, 63
TYP 07	Remove existing tub & tub surround at entry bath. Install blocking in wall for future grab bars. Install new tub & surround along with faucet fixture as detailed.	LS		Refer to Product Data Note #7 & Note #12 for type of tub/tub surround and faucet fixture.	#26, 30, 35, 39, 44, 46, 57
TYP 08	Remove Toilet. Provide offset flange or reroute piping to move toilet to be 18" from centerline of toilet. Patch ceramic floor tile as required.	Ea		See Scope of Work Unit Sheets	#27, 36, 58
TYP 09	Remove existing balcony door. Install new door as described and detailed in drawings.	LS		Refer to details 4, 5 & C on sheet A-141 for balcony door details.	# 24
TYP 10	Remove Lav and Vanity Cabinet. Provide new lav, faucet & vanity to locate center of lav to be no less than 15" from sidewall. Replace cultured marble countertop.	LS		Refer to Product Data Note #6 for type of items to provide.	# 28, 47
TYP 11	Lower elec panelboard to make top most operable is at 48" AFF.	LS		See Report #31a.	# 31a
TYP 12	Remove existing kitchen sink. Replace with new sink to match existing shape and size with drain at rear for knee space.	LS		Reroute piping for knee access. Provide slanted panel per Detail #1 on sheet A-141.	# 31b
TYP 13	Remove braces under Lav Counter. Modify brace at wall for knee clearance. Reinstall open end brace to be 30" clear.	LS			# 31c
TYP 14	Remove existing grab bars. Install new grab bars meeting code.	EA		See sheet G-003 for grab bar spacing.	# 31d
TYP 15	Remove to reinstall toilet tissue holder. Per code. Patch wall and paint.	EA		See sheet G-003 for toilet tissue requirements.	# 31e & f
TYP 16	Remove to reinstall shower controls and piping to meet code. Patch existing tub surround as req'd.	EA		See Report #31g for direction.	# 31g

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PROJECT:
GUSTE III COMMUNITY
INTERIOR & EXTERIOR REPAIRS
SHEET TITLE:
OVERALL SITE PLAN

DRAWN M.L.M.
CHECKED C.E.J.
DATE NOV. 21, 2025
SCALE AS SHOWN
JOB NO. 22462.14
SHEET NO.
A-100

SCOPE OF WORK NOTES:

1. THE SCOPE OF WORK SHEET INCLUDED ON THIS DRAWING INDICATES THE WORK THAT IS TO BE PERFORMED IN EACH UNIT. FOR FURTHER INFORMATION ON EACH WORK AREA, REFER TO THE REFERENCE NOTES FOR ADDITIONAL DETAILS ON THE WORK AREA.
2. REFER TO SHEET A-118 FOR PLAN OF "H" UNITS.

Scope of Work for		Guste III Housing Development			
"H" Bldg - Unit / Work Type		Interior - 1202 Freret Street			
#	Work Item Description	Unit	Quantity	Reference Notes	Rpt #
INT 01	Remove existing outlet next to range at both sides. Install blank plate. Relocate outlet w/extended box. Place per code.	Ea	2	See Photos 4, 5 & 8 on sheet A-143. Outlets to be 36" from corner.	# 55
INT 03	Relocate Light Switch /Thermostat to be no more than 48" AFF to operating devices. Patch, finish and paint entire wall to match existing.	Ea	1	Relocate Thermostat to 48" to lever per sht G-003.	# 54
INT 04	Provide code compliant beveled threshold to meet code at interior side of door.	Ea	1	Refer to Product Data Note #3 for type of threshold.	# 51
INT 05	Provide furr-out wall at rear of exterior storage closet. Add Fire-rated gyp board to under side of stairs per detail.	LS	1	Refer Product Data Note #1, A & B on sheet A-141 for details	# 52
INT 06	Provide furr-out wall at rear of interior storage closet per detail to make depth of closet no more than 24".	LS	1	Refer Product Data Note #1 on sheet A-141 for similar details.	# 53
INT 07	Remove existing tub & tub surround at both baths. Install blocking in wall for future grab bars. Install new tub & surround along with faucet fixture as detailed.	LS	2	Refer to Product Data Notes #7 & #12 for type of tub/tub surround and faucet fixture.	# 57
INT 08	Remove Toilet. Chip out slab to move toilet per offset flange to be 18" from centerline of toilet. Patch ceramic floor tile as required.	Ea	1	Bed Toilet at 14".	# 58

Scope of Work for		Guste III Housing Development			
"H" Bldg - Unit / Work Type		Interior - 1204 Freret Street			
#	Work Item Description	Unit	Quantity	Reference Notes	Rpt #
INT 01	Remove existing outlet next to range at both sides. Install blank plate. Relocate outlet w/extended box. Place per code.	Ea	2	See Photos 4, 5 & 8 on sheet A-143. Outlets to be 36" from corner.	# 55
INT 04	Provide code compliant beveled threshold to meet code at interior side of door.	Ea	1	Refer to Product Data Note #3 for type of threshold.	# 51
INT 05	Provide furr-out wall at rear of exterior storage closet. Add Fire-rated gyp board to under side of stairs per detail.	LS	1	Refer Product Data Note #1, A & B on sheet A-141 for details	# 52
INT 06	Provide furr-out wall at rear of interior storage closet per detail to make depth of closet no more than 24".	LS	1	Refer Product Data Note #1 on sheet A-141 for similar details.	# 53
INT 07	Remove existing tub & tub surround at both baths. Install blocking in wall for future grab bars. Install new tub & surround along with faucet fixture as detailed.	LS	2	Refer to Product Data Notes #7 & #12 for type of tub/tub surround and faucet fixture.	# 57

Scope of Work for		Guste III Housing Development			
"H" Bldg - Unit / Work Type		Interior - 1222 Rev John Raphael Jr Way			
#	Work Item Description	Unit	Quantity	Reference Notes	Rpt #
INT 01	Remove existing outlet next to range at both sides. Install blank plate. Relocate outlet w/extended box. Place per code.	Ea	2	See Photos 4, 5 & 8 on sheet A-143. Outlets to be 36" from corner.	# 55
INT 04	Provide code compliant beveled threshold to meet code at interior side of door.	Ea	1	Refer to Product Data Note #3 for type of threshold.	# 51
INT 05	Provide furr-out wall at rear of exterior storage closet. Add Fire-rated gyp board to under side of stairs per detail.	LS	1	Refer Product Data Note #1, A & B on sheet A-141 for details	# 52
INT 06	Provide furr-out wall at rear of interior storage closet per detail to make depth of closet no more than 24".	LS	1	Refer Product Data Note #1 on sheet A-141 for similar details.	# 53
INT 07	Remove existing tub & tub surround at both baths. Install blocking in wall for future grab bars. Install new tub & surround along with faucet fixture as detailed.	LS	2	Refer to Product Data Notes #7 & #12 for type of tub/tub surround and faucet fixture.	# 57

Scope of Work for		Guste III Housing Development			
"H" Bldg - Unit / Work Type		Interior - 1224 Rev John Raphael Jr Way			
#	Work Item Description	Unit	Quantity	Reference Notes	Rpt #
INT 01	Remove existing outlet next to range at both sides. Install blank plate. Relocate outlet w/extended box. Place per code.	Ea	2	See Photos 4, 5 & 8 on sheet A-143. Outlets to be 36" from corner.	# 55
INT 03	Relocate Light Switch /Thermostat to be no more than 48" AFF to operating devices. Patch, finish and paint entire wall to match existing.	Ea	1	Relocate Entry switch to 48" to lever per sht G-003.	# 54
INT 04	Provide code compliant beveled threshold to meet code at interior side of door.	Ea	1	Refer to Product Data Note #3 for type of threshold.	# 51
INT 05	Provide furr-out wall at rear of exterior storage closet. Add Fire-rated gyp board to under side of stairs per detail.	LS	1	Refer Product Data Note #1, A & B on sheet A-141 for details	# 52
INT 06	Provide furr-out wall at rear of interior storage closet per detail to make depth of closet no more than 24".	LS	1	Refer Product Data Note #1 on sheet A-141 for similar details.	# 53
INT 07	Remove existing tub & tub surround at both baths. Install blocking in wall for future grab bars. Install new tub & surround along with faucet fixture as detailed.	LS	2	Refer to Product Data Notes #7 & #12 for type of tub/tub surround and faucet fixture.	# 57

Scope of Work for		Guste III Housing Development			
"H" Bldg - Unit / Work Type		Interior - 2322 Erato Street			
#	Work Item Description	Unit	Quantity	Reference Notes	Rpt #
INT 01	Remove existing outlet next to range at both sides. Install blank plate. Relocate outlet w/extended box. Place per code.	Ea	2	See Photos 4, 5 & 8 on sheet A-143. Outlets to be 36" from corner.	# 55
INT 03	Relocate Light Switch /Thermostat to be no more than 48" AFF to operating devices. Patch, finish and paint entire wall to match existing.	Ea	1	Relocate Thermostat to 48" to lever per sht G-003.	# 54
INT 04	Provide code compliant beveled threshold to meet code at interior side of door.	Ea	1	Refer to Product Data Note #3 for type of threshold.	# 51
INT 05	Provide furr-out wall at rear of exterior storage closet. Add Fire-rated gyp board to under side of stairs per detail.	LS	1	Refer Product Data Note #1, A & B on sheet A-141 for details	# 52
INT 06	Provide furr-out wall at rear of interior storage closet per detail to make depth of closet no more than 24".	LS	1	Refer Product Data Note #1 on sheet A-141 for similar details.	# 53
INT 07	Remove existing tub & tub surround at both baths. Install blocking in wall for future grab bars. Install new tub & surround along with faucet fixture as detailed.	LS	2	Refer to Product Data Notes #7 & #12 for type of tub/tub surround and faucet fixture.	# 57

Scope of Work for		Guste III Housing Development			
"H" Bldg - Unit / Work Type		Interior - 2324 Erato Street			
#	Work Item Description	Unit	Quantity	Reference Notes	Rpt #
INT 01	Remove existing outlet next to range at both sides. Install blank plate. Relocate outlet w/extended box. Place per code.	Ea	2	See Photos 4, 5 & 8 on sheet A-143. Outlets to be 36" from corner.	# 55
INT 03	Relocate Light Switch /Thermostat to be no more than 48" AFF to operating devices. Patch, finish and paint entire wall to match existing.	Ea	2	Relocate Thermostat & Entry Switch to 48" to operating parts.	# 54
INT 04	Provide code compliant beveled threshold to meet code at interior side of door.	Ea	1	Refer to Product Data Note #3 for type of threshold.	# 51
INT 05	Provide furr-out wall at rear of exterior storage closet. Add Fire-rated gyp board to under side of stairs per detail.	LS	1	Refer Product Data Note #1, A & B on sheet A-141 for details	# 52
INT 06	Provide furr-out wall at rear of interior storage closet per detail to make depth of closet no more than 24".	LS	1	Refer Product Data Note #1 on sheet A-141 for similar details.	# 53
INT 07	Remove existing tub & tub surround at both baths. Install blocking in wall for future grab bars. Install new tub & surround along with faucet fixture as detailed.	LS	2	Refer to Product Data Notes #7 & #12 for type of tub/tub surround and faucet fixture.	# 57

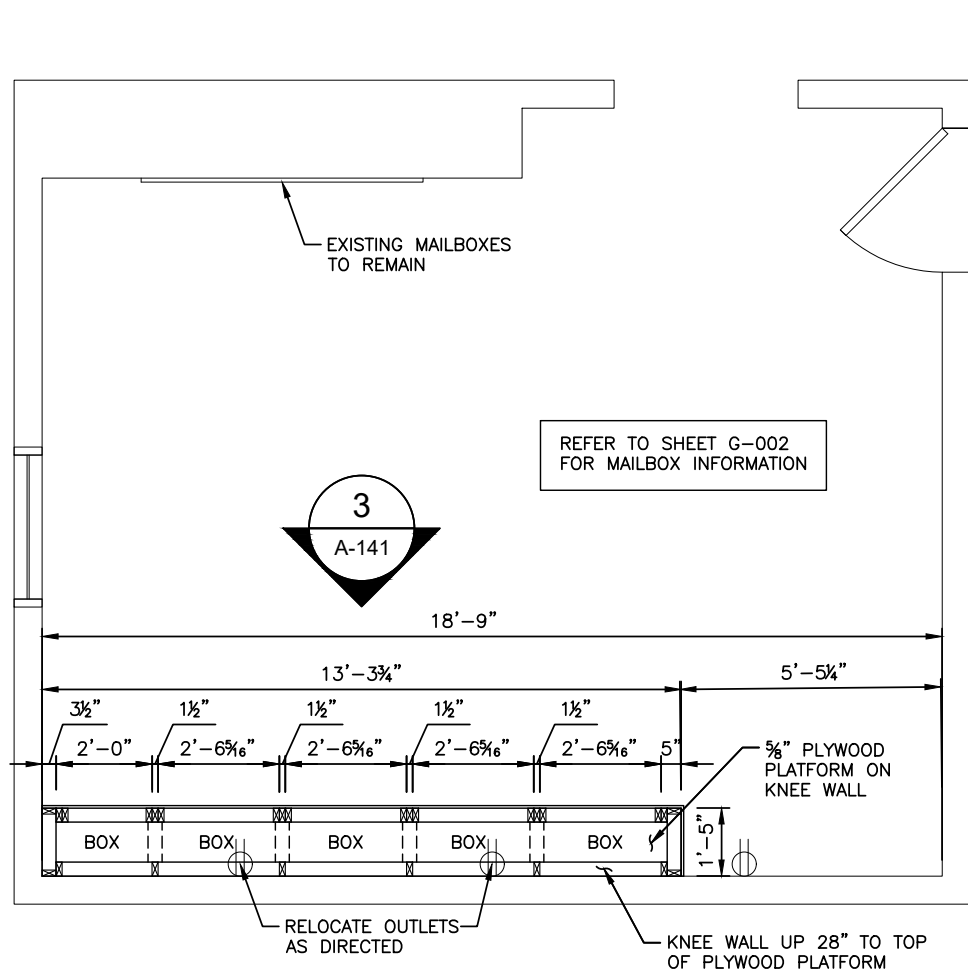
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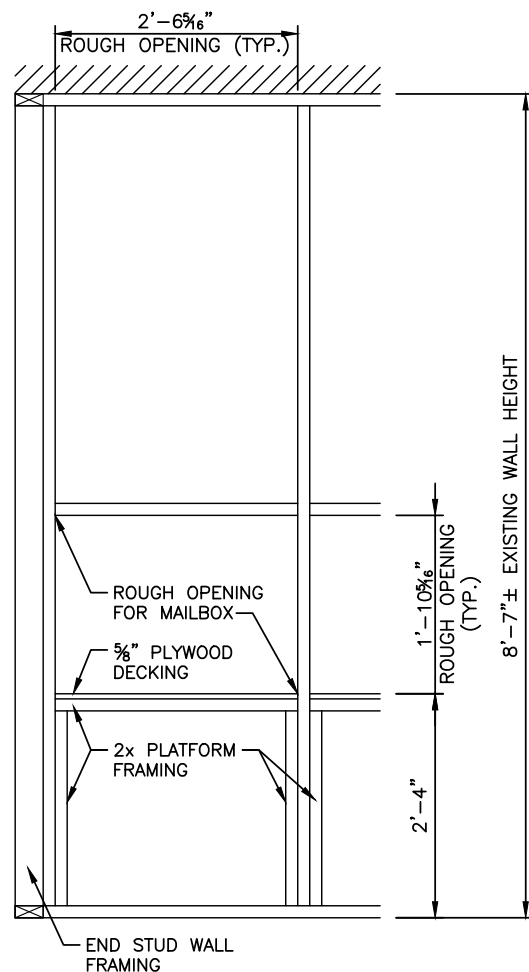
PROJECT:
GUSTE III COMMUNITY
INTERIOR & EXTERIOR REPAIRS
SHEET TITLE:
SCOPE OF WORK SHEETS FOR
H UNITS AT GUSTE III

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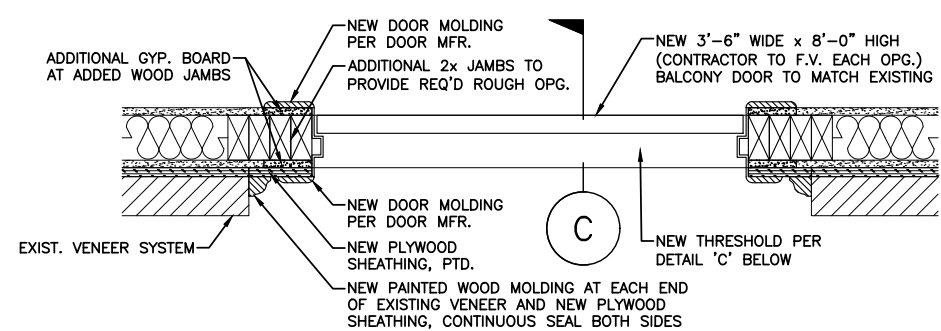


2 PLAN - MAILBOXES
A-141 MAILROOM SCALE: 1/2" = 1'-0"

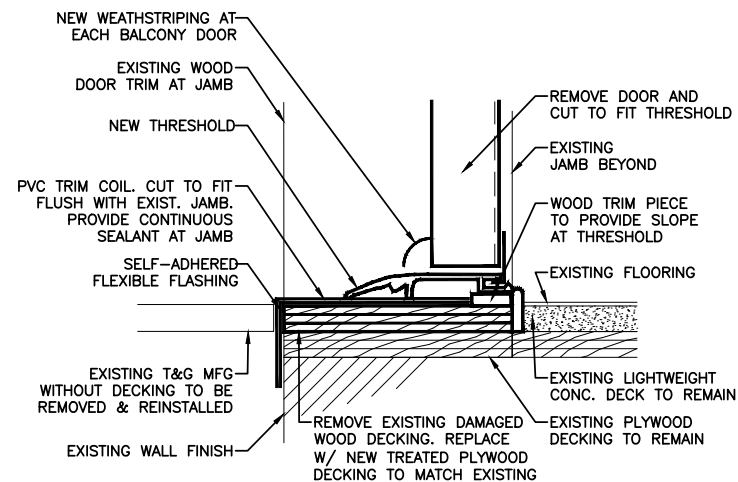
NOTE: ALL ABANDONED BOXES TO RECEIVE BLANK COVERS.



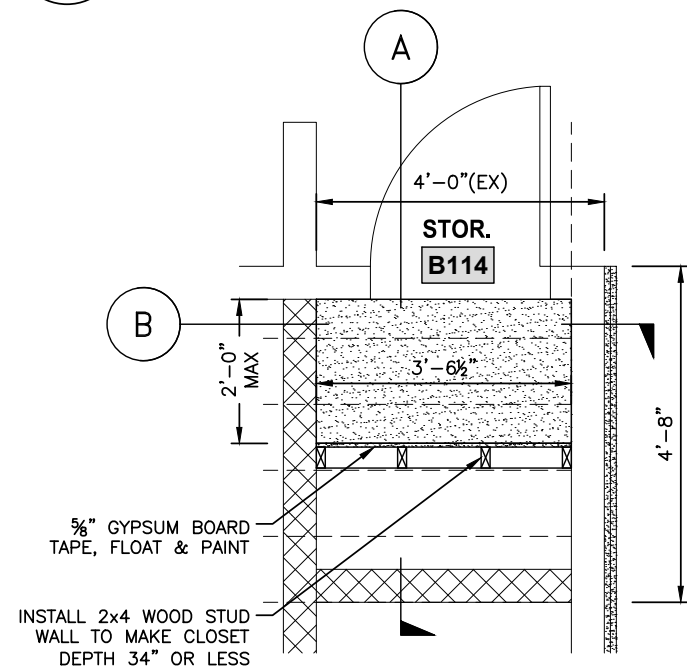
3 ELEVATION
A-141 MAILROOM SCALE: 1" = 1'-0"



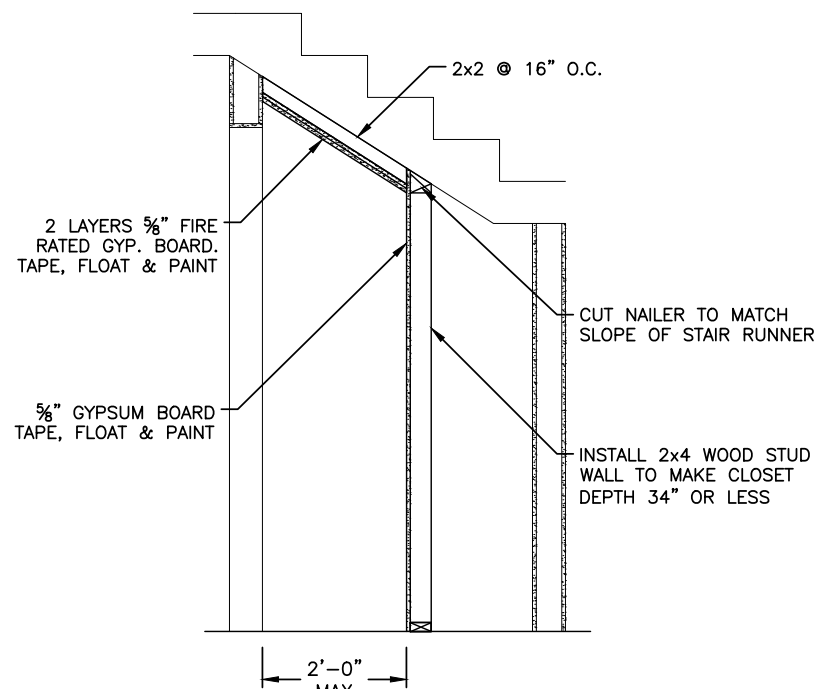
4 PLAN @ NEW DOOR OPENING
A-141 BALCONY DOOR SCALE: 1-1/2" = 1'-0"



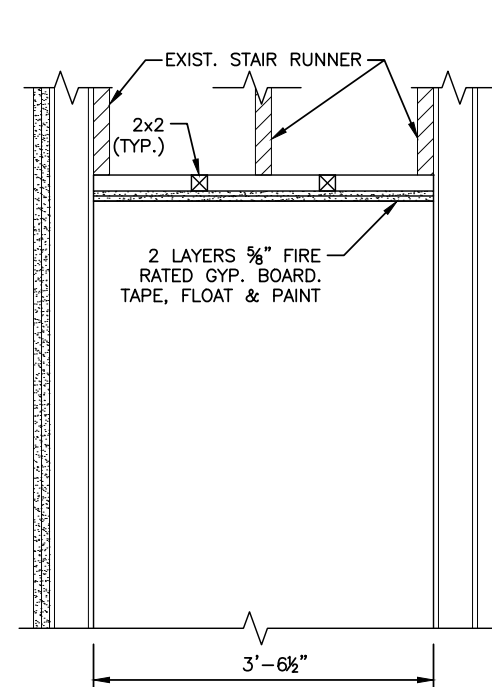
C THRESHOLD DETAIL
A-141 BALCONY DOOR N.T.S.



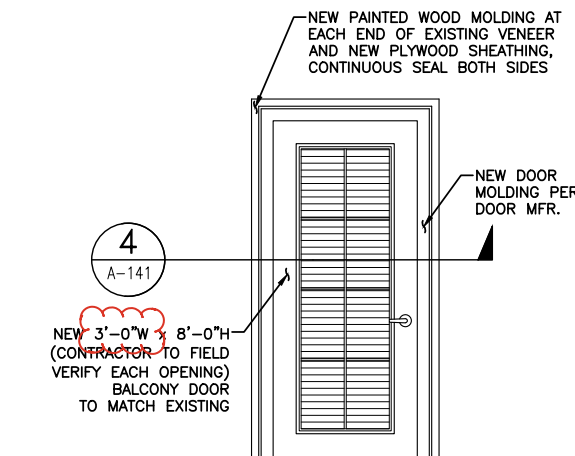
1 PLAN - FURR OUT WALL
A-141 STORAGE CLOSET SCALE: 3/4" = 1'-0"



A SECTION THRU CLOSET
A-141 STORAGE CLOSET SCALE: 3/4" = 1'-0"



B SECTION THRU CEILING
A-141 STORAGE CLOSET SCALE: 1" = 1'-0"



5 DOOR ELEVATION
A-141 BALCONY DOOR SCALE: 1-1/2" = 1'-0"

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GUSTE III COMMUNITY
INTERIOR & EXTERIOR REPAIRS
MISCELLANEOUS DETAILS

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HOUSING AUTHORITY OF NEW ORLEANS
MANDATORY PRE-BID CONFERENCE FOR
GUSTE III COMMUNITY INTERIOR AND EXTERIOR WORK ITEMS
IFB #25-911-35

THURSDAY, DECEMBER 11, 2025
10:00 A.M.
SIGN-IN SHEET

REPRESENTATIVE NAME	COMPANY	TYPE OF BUSINESS	PHONE	EMAIL	DBE/WBE SECTION 3 CERTIFIED WITH HANO	
					YES	NO
Rayford Campbell	Citysbe Builders	Construction	251-366-7006	raysbe251@gmail.com	X	
Terrance Mitchell	Affordable Fence	Construction Fence	504-451-4695	tbmitchell@AffordableFence.com		X
Jenna Deemer	Project 7	Construction	504-912-5701	Jenna@project7developments.com		X
Romay Lopez	Colmex Construction	G.C.	504-504-4518550	Roman@colmexconstruction.com		X
Noel Williams	Legacy Restoration	G.C.	504-421-7293	nwilliams@legacyrestor.com	X	
Robert Thomson	Legacy Restoration	G.C.	504-331-0689	rthomson@legacyrestor.com	X	
Peter Smith	ETI	G.C.	504-921-1071	Peter@etitechnology.com		X
Glen Ancelet	ETI	G.C.	504-515-0206	GlenAncelet@etitechnology.com		



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					YES	NO
SAHIT PIRA	PIRA BROS PAINTING LLC	Construction	504 541-1725	pirabros@gmail.com		
James Green	EVO Construction	General Contractor	504 915-0147	nvengr@gmail.com		
Harold Everage	Guste Homes	Maintenance Super	810 831-7560	HaroldEverage@GHRMC.org		
Piper Bellcase	RVED Builders, LLC	General Contractor	225 951-5922	pbellcase@rvngd.com		
Kyle Nash	KMT Painting & Decorating	GC	504- 972-1614	Kyle @ KMT LLC.com		
Colin Ward	TEH Enterprise LLC	GC	504-733 9141	colin@TehnoLa.com		
CHRISTIAN PRZOGA	COL-EX CONSTRUCTION	GC	504 495 0586	CHRISTIAN@COL-EX CONSTRUCTION.COM	X	

Proposals must be received by the Housing Authority of New Orleans (HANO) in the Office of Procurement and Contracts by 11:00am, local time on December 23, 2025. All terms and conditions shall remain as stated in the original Request for Proposals. **All addenda must be acknowledged.**

END OF ADDENDUM NUMBER TWO